
EXHIBIT A - Trade
Subcontractor Bid Package
Manual and Forms –
Contract #301001301

D...Trade Package # TG13.1 Roof Park
Landscaping and Irrigation Package
Addendum #4

June 18, 2015 ...D

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I. BIDDER QUALIFICATION PROCESS

If the Bidder is not previously qualified, the Bidder shall submit a Request for Qualification (RFQ) package no later than the date shown in the TG13.1 Package Timeline in Section II, “Key Dates for Bidding Process.” The prequalified trade subcontractors/joint ventures listed below do not need to submit an RFQ package.

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Prequalified Trade Subcontractors/Joint Ventures:

- Build Group, Inc.
- Jensen Corporation Landscape Contractors
- Marina Landscape, Inc.
- McGuire and Hester
- Valley Crest Landscape Development, Inc.

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Notification of the qualification will be provided to the Bidder by the date shown in the TG13.1 Package Timeline. Bids submitted by non-qualified Bidders will not be accepted or opened. Non-qualified Bidders assume all risk and costs associated with submitting a bid if they are deemed not qualified.

Trade Subcontractors submitting an RFQ package during the bid period must use the “Request for Qualifications (RFQ) TG13.1 Roof Park Landscaping and Irrigation” form available on the TJPA website (<http://transbaycenter.org/rfp/roof-park-landscaping-and-irrigation>).

No Conflict of Interest: Webcor/Obayashi Joint Venture and the TJPA shall disqualify any Bidder that has a conflict of interest under Section C8.105 of the San Francisco Charter, Government Code Section 1090 *et. seq.*, the Political Reform Act (Government Code Section 87100 *et. seq.*), or any other applicable conflict of interest laws. Any false, incomplete, or otherwise unresponsive statements made in connection with a proposal may be cause for its disqualification at Webcor/Obayashi Joint Venture and the TJPA’s sole discretion.

END OF BIDDER QUALIFICATION PROCESS

II. KEY DATES FOR BIDDING PROCESS

Each Bidder shall submit its “Bid Form,” “Schedule of Bid Prices,” and other applicable sections and forms in the Specifications and the Project Bidding Manual. Required submittal documents for the bid are listed in the Bidding Checklist (BCL) in the Project Bidding Manual.

Package Issuance: The Bid Package, except the drawings and specifications, will be available for download from the TJPA website <http://transbaycenter.org/tjpa/doing-business-with-the-tjpa> or by contacting Webcor/Obayashi Joint Venture by e-mail at TransbayBidding_TG13.1@webcor-obayashi.com. Information regarding how to obtain the drawings and specifications will be posted on the TJPA website with the IFB package on the Bid Package Issuance date.

Pre-Bid Conference: A pre-bid conference and job walk for Trade Subcontractors interested in submitting bids will be held at the time and date shown in the TG13.1 Package Timeline below, in Conference Room Charlie at the Webcor/Obayashi Joint Venture Office at 175 Beale Street, San Francisco, California 94105. Attendance is optional, but highly encouraged.

Questions/Clarifications: Questions or requests for clarifications regarding the Bid Package must be submitted in writing to Webcor/Obayashi Joint Venture no later than the time on the date shown in the TG13.1 Package Timeline below. Questions on Bid Documents (QBD) form in the Project Bidding Manual shall be used for questions or requests for clarifications. Refer to “Communication with Webcor/Obayashi Joint Venture” for contact information.

Value Engineering (VE) Proposals: Each Bidder may submit Value Engineering (VE) Proposals as deductive alternates to their Bid to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG13.1 Package Timeline below. The VE Proposals shall consist of two parts, technical and cost, and must be submitted in a sealed envelope. No proposals will be accepted after the due date and time. Refer to Specification Section 00 04 20 for details. The VE Proposal submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind the Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Bid Submittal: Each Bidder shall submit sealed bids to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG13.1 Package Timeline below. No bids will be accepted after the due date and time. Bid submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Sensitive Security Information/Protected Critical Infrastructure Information: Contract Documents and reference documents for the Transbay Transit Center Project may contain protected information pertaining to sensitive, financial, commercial, or proprietary business information and/or the security of the Project. Such protected information is classified as Confidential Information, Sensitive Security Information (SSI), or Protected Critical Infrastructure Information (PCII). Bidders and Trade Subcontractors shall follow the procedures for the safeguarding of protected information specified in Specification Section 01 35 70, Document Control Procedure for Protected Information.

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If it is necessary to discuss Confidential Information, SSI or PCII during the Pre-Bid Conference for this Trade Package, all attendees will be required to have been granted conditional access to the associated documents. In order to be granted conditional access, all attendees must have submitted a signed Non-Disclosure Agreement (NDA) to the TJPA, and been approved prior to the Pre-Bid Conference.

Financial Responsibility: Webcor/Obayashi Joint Venture and the TJPA accept no financial responsibility for any costs incurred by a firm in responding to this Bid Package. Submissions to Webcor/Obayashi Joint Venture will become the property of the TJPA and may be used by the TJPA in any way deemed appropriate.

No Waiver: No waiver by Webcor/Obayashi Joint Venture and the TJPA of any provision of this Bid Package shall be implied from any failure by Webcor/Obayashi Joint Venture and the TJPA to recognize or take action on account of any failure by a Bidder to observe any provision of this Bid Package.

No Representations or Warranties: The information presented in this Bid Package and in any report or other information provided by Webcor/Obayashi Joint Venture and the TJPA to Bidders is provided solely for their convenience. It is the sole responsibility of Bidders to assure themselves that the information contained in this Bid Package and other documents are accurate and complete. No representations, assurances or warranties pertaining to the accuracy of such information are or will be provided by the TJPA or its advisors.

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Package Timeline:

Bid Package Issued:	February 26, 2015
Pre-Bid Conference:	March 18, 2015 (2:00 p.m.)
Qualifications Due (for non-prequalified):	March 19, 2015 (2:00 p.m.)
Notification of Qualification (for non-prequalified):	March 26, 2015
Questions/Clarifications (QBD) Due:	June 9, 2015 (2:00 p.m.)
Pre-bid Request for Substitution Due:	June 9, 2015 (2:00 p.m.)
Value Engineering (VE) Proposals Due:	June 16, 2015 (2:00 p.m.)
VE Proposals Review:	June 17 - 29, 2015
Bids Due:	June 30, 2015 (2:00 p.m.)
Public Bid Opening:	June 30, 2015 (2:00 p.m.)
Protest Period Ends:	July 8, 2015 (5:00 p.m.)
Notification of Intention to Award Contract:	July 9, 2015
TJPA Board Vote to Approve the Contract Award:	July September 10, 2015

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END OF KEY DATES FOR BIDDING PROCESS

III. COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

At no time during the bid process (defined as the time between issuance of this IFB until issuance of the Notice of Intent to Award Contract) shall Bidders contact any person(s) or staff of the TJPA, TJPA Program Management/Program Controls (PMPC) team, Webcor/Obayashi Joint Venture, CM Oversight (CMO), or other TJPA Consultants regarding this IFB. The only contact is for submission of questions using the contact directions below.

Submit questions using the Question on Bid Documents (QBD) form through Webcor/Obayashi Joint Venture. See the Project Bidding Manual for QBD form.

E-mail the completed QBD form to Webcor/Obayashi Joint Venture at
TransbayBidding_TG13.1@webcor-obayashi.com.

END OF COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

IV. SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

TG13.1 Roof Park Landscaping and Irrigation:

1. Package Scope Summary

The scope of work for the TG13.1 Roof Park Landscaping and Irrigation is described in the Contract Documents. Scope of work includes all labor, materials, equipment, tools, transportation, disposal fees, incidentals and any other costs/fees necessary to complete the work in accordance with the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the Bid.

The major items of work for this Trade Package will consist of the following elements:

- Roof Park Substructure
- Roof Park Hardscape
- Contract Grow and Acclimatization
- Roof Park Landscaping
- Roof Park Maintenance Period
- Roof Park Utility Corridor
- Roof Park Drainage and Irrigation
- Roof Park Site Furnishings
- Roof Park Miscellaneous Metals
- Bus Fountain Hardscape
- Playground Structure

The Estimated Value of this Trade Package is approximately \$24.5 million.

This Trade Subcontractor is required to review the Contract Documents and be familiar with existing Site Conditions in accordance with all requirements set forth in the Prime Contract with respect to its scope of work (see Specification Section 00 07 00 – General Conditions, Article 3.03). This shall include, without limitation, the obligation to carefully review the appropriate portions of the Contract Documents a minimum of 35 days in advance of the work to be executed for the express purpose of checking for any manifest errors, omissions, discrepancies or ambiguities and notifying Webcor/Obayashi Joint Venture in writing promptly within this time period upon discovery of errors, omissions, discrepancies or ambiguities so that Webcor/Obayashi Joint Venture can properly notify the TJPA within the time period prescribed in Specification Section 00 07 00 – General Conditions, Article 3.03.C.

In addition, if this Trade Subcontractor performs work that it knows, or reasonably should have known, to be contrary to the Building Code or other applicable laws, statutes, ordinances, rules and regulations without written notice to Webcor/Obayashi Joint Venture, this Trade Subcontractor shall assume responsibility for such work and shall bear all costs of correction (see Specification Section 00 07 00 – General Conditions, Article 3.08.E).

2. General Work

The following items for this package are discussed in detail in the Project Bidding Manual. Additional requirements and/or clarifications that are specific to the current Trade Package are included below and align, as indicated, with the corresponding section of the Project Bidding Manual.

III. Instructions to Bidders

E. Additional Bidding Notes

2. Exclusions/Clarifications/Qualifications
 - a) Do not include in Bid Price:
 1. Project ID Signs called for in Specification Section 01 15 01.
 2. CMU Support Walls associated with the Roof Park Restaurant.

IV. Trade Subcontractor Requirements

A. General Information – Supplemental Instructions

7. Inspections and Testing
 - g) This Trade Subcontractor shall include in its bid all inspections and testing unless specifically stated otherwise in the Contract Documents.
25. Cranes/Hoisting
 - d) TG13.1 Roof Park Landscaping and Irrigation Trade Subcontractor shall provide a crane for all their hoisting activities including, but not limited to, hoisting and placement of trees, geosynthetic fill, stone, soils, etc.
 - e) If cranes are used in the street include all costs associated for lane and street closures. Costs to be included as a part of street closures, but are not limited to, City and County of San Francisco regulations associated with neighborhood disruption, allowable lane/street closure time periods, and moratorium blackout periods.
 - f) If this Trade Subcontractor intends to use small hoisting equipment such as forklifts on the roof, account for all rooftop obstacles such as seismic joints, footing and support walls, upturned beams, shear keys, light pedestals, and all other obstacles which may be present and need to be maneuvered around so that damage does not occur. Reference Attachment 2 Logistics exhibit SL-027. Account for any reinforcement or shoring which may be required to support the structure for all hoisting equipment with a full load. Ensure that damage does not occur to work of other trades including, but not limited to, waterproofing, structural elements, light column, skylights, etc. The Structural Engineer of Record of the building must approve all proposed hoisting plans if they impose a load to the building. Webcor/Obayashi Joint Venture must approve all proposed hoisting plans.

33. Construction Stormwater Pollution Control/Compliance Plan

- b) This Trade Subcontractor is to insure that all measures to control dust and soil movement from the site are undertaken, including but not limited to use of covers, moisture, and wet saws for all cutting of masonry, stone or concrete.

34. Submittals

This Trade Subcontractor shall be required to attend two additional Submittal preparation and review meetings. The intent of these meetings is for the TJPA design team to provide additional assistance to this Trade Subcontractor at the beginning of this bid package's submittal development. This instruction does not relieve the trade subcontractor from full compliance with the contract requirements.

First preliminary meeting – Pre-Preparatory # 1:

This meeting will be scheduled after Notice of Award is issued and after this Trade Subcontractor has started the submittal development. The purpose of this meeting is to review the design, design criteria, performance requirements, applicable codes and ordinances at the time of award, and the requirements of the Authorities Having Jurisdiction (AHJ). Agenda checklist will be published within 72 hours of the meeting.

- a. Meeting shall be attended by the following (at all stages):
 - i. Owner Representatives
 - ii. Architect representatives – Pelli Clarke Pelli Architects (PCPA)/Adamson Associates, Inc. (AAI)
 - iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable).
 - iv. This Trade Subcontractor's Project Manager and Engineer of Record (if applicable).
 - v. Webcor/Obayashi Joint Venture Representatives
- b. Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.

Second preliminary meeting – Pre-Preparatory # 2:

This meeting will be scheduled at 95% progress of the submittal. The purpose is to allow this Trade Subcontractor and its Engineer of Record to present the submission and demonstrate they have complied with the contract requirements prior to final submission to TJPA for review and action.

- a. Meeting shall be attended by the following (at all stages):
 - i. Owner Representatives
 - ii. Architect representatives - PCPA/AAI
 - iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable).
 - iv. This Trade Subcontractor's Project Manager and Engineer of Record (if applicable).
 - v. Webcor/Obayashi Joint Venture Representatives

Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.

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44. Quality Control

b) **Furnish 3 ea. QC Specialists (1 for each area) to be full time on-site while work is being performed within an area. The entire Roof Park is split into three areas at the seismic joints at GL 10 and 20.** ~~Furnish 4 ea. QC Specialists (1 per zone) to be full time on-site while work is being performed within a zone.~~ The QC Specialists shall begin work on-site no less than 4 weeks prior to work beginning in **their area** ~~the zone~~.

c) Furnish 1 ea. QC Assistant to be full time dedicated to this project for the entire time TG13.1 is performing work in the field. Reference "Attachment 3 Temporary Protection QC Assistant Responsibility Matrix 2.25.15" for minimum duties.

d) Furnish, install, maintain, and dispose of temporary protection as described in "Attachment 3 Temporary Protection".

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D. Small Business Enterprise (SBE) Program

The SBE utilization goal for this Trade Subcontractor is 10% of the total value of this Trade Subcontractor's bid value.

3. Base Bid Item Scope

Roof Park Landscaping and Irrigation Package Scope of Work

This section is supplemental information only to the Contract Documents used to describe how the bid pricing is to be broken down and to generally describe the scope of the work defined in the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the bid items.

The amount paid for all of the items below shall include full compensation for furnishing all labor, materials, equipment, installation, welding, tools, transportation, disposal fees, incidentals, all patch work including multiple mobilization/demobilizations as required, and any other costs/fees necessary to complete this work.

Roof Park Landscaping and Irrigation Primary Specifications

Although the work to be performed by Subcontractor is not necessarily found in one particular portion of the plans and specifications, Subcontractor should generally perform and coordinate the work associated with all Contract Documents included but not limited to the following specifications:

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- 03 33 12 – Landscape Cast-In-Place Concrete
- 03 45 00 – Site Precast Concrete Elements
- 04 22 00 – Site Concrete Unit Masonry Walls
- 04 43 00 – Stone Masonry
- 05 60 00 – Site Metal Fabrications
- 07 19 23 – Site Repellents
- 07 92 14 – Site Sealants
- 08 05 13 – Airblast Criteria for Glazing and Cladding Systems
- 08 05 13/APA – Airblast Criteria for Glazing and Cladding Systems - SSI
- 08 81 00 – Site Laminate Glass Glazing

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09 97 13 – Site Paints
12 93 00 – Site Furniture
12 93 20 – Playground Structure
32 01 90 – Landscape Maintenance Period
32 11 24 – Landscape Aggregate Base Course
32 14 40 – Sand-Set Stone Paving
32 14 41 – Mortar-Set Stone Paving
32 15 00 – Aggregate Surfacing
32 15 10 – Resin Aggregate Paving
32 18 16 – Play Area Surfacing
32 34 10 – Geosynthetic Fill
32 84 00 – Planting Irrigation
32 91 00 – Planting Soil Mixes and Preparation
32 91 20 – Wetland Planting Medium
32 91 30 – Planting Area Finish Grading
32 92 10 – Contract Growing and Maintenance
32 92 23 – Lawn and Meadow Sodding
32 93 00 – Planting Materials
33 41 19 – Landscape Drainage

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The listing of the specification sections above does not limit trade subcontractor's obligations to only those sections, and this Trade Subcontractor is responsible for all requirements included in and reasonably inferable from the Contract Documents.

Roof Park Substructure

1. Furnish and install Concrete Masonry Unit (CMU) Support Walls located at the Roof Park Level
 - a) This Trade Subcontractor shall furnish and install all CMU Support Walls located at the Roof Park Level as shown or specified in the Contract Documents including, but not necessarily limited to, planter walls, basins, and fountain walls.
 - b) This Trade Subcontractor shall include all notching, cutting, or grouting of unit masonry that may be required for embed installation.
2. Subslabs and Basins
 - a) Furnish and install Roof Park Level Concrete Subslabs.
 - b) Furnish and install Roof Park Level Basins including, but not limited to, Graywater and Bamboo Basins.
3. Furnish and install footings above the Roof Park Level reinforced topping slab including, but not limited to, utility bollard footing, drinking fountain footings, stair footings, rail footings.
 - a) Install all embeds for footings, coordinating with other trade subcontractors to ensure proper installation.
 - b) Utility bollard, drinking fountains and all associated conduit and piping to be provided by others.
4. Provide waterstops and dowels for footings located within the Roof Park Level structural and topping slabs to be installed by others including, but not limited to, signage footings, monument boulder footings and security pylon footings.
5. Provide reinforcement and embeds to be installed in the Roof Park topping slab by TG07.6 Topping Slabs, Bus Crash Rail, and Expansion Joint Trade Subcontractor.
6. Furnish and install all items to ensure complete installation including, but not limited to, reinforcement, blocks, mortar bed reinforcing mesh, mortar, grout, all required special units and specially fabricated units.

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Roof Park Hardscape

1. Furnish and install all Roof Park Level Concrete Work including, but not limited to, Roof Park Level Concrete Paving, Walls, Headers, Concrete Curbs for Fire Hose Valves, Planters and Board Formed Concrete.
2. 401 and 601 Concrete Stairs
 - a) Furnish and install concrete stairs 401 and 601 at the Roof Park Level including, but not limited to, all reinforcement, stair tread and dowels.
 - b) Install stair 601 handrails at Roof Park Level; handrails to be provided by others.
3. Resin Paving at Roof Park Level
 - a) Furnish and install resin paving at Roof Park Level including all components to ensure complete installation including, but not limited to, resin pavement binder emulsion, resin pavement mixture, tack coat, fog seal, and slip sheet.
4. Sand-Set Cobblestone Paving at Roof Park Level
 - a) Furnish and install sand-set cobblestone paving with all components including, but not limited to, pavers, joint sand, joint spacers and sand-stop fabric.
 - b) Deduct Bid Alternate does not apply to the Roof Park Level and shall not be included in price.
5. Mortar-Set Stone Paving at Roof Park Level
 - a) Furnish and install mortar-set stone paving at Roof Park Level including, but not limited to, Cobblestone Paving at Bus Fountain, Flush Stone Header along Perimeter Path, Raised Curb, Garden Band.
 - b) Furnish and install all components including, but not limited to, pavers, headers, mortar, grout and coatings.
 - c) Monument Boulders and their footings to be provided and installed by the TG17.1 Signage Trade Subcontractor.
6. Stone Masonry at Roof Park Level
 - a) Furnish and install all stone masonry at Roof Park Level including, but not limited to, Circular Stone Planters and Amphitheater Stone Slab Stair.
 - b) Furnish and install all components to ensure complete installation including, but not limited to, stone slabs, mortar, pins, adhesive and grout.

Contract Grow and Acclimatization

1. Immediately source and secure all trees designated as Contract Grow (CG) or requiring an Acclimatization Period (AP).
2. Submittals are due 30 days after Notice to Proceed (NTP) is issued.
3. Coordinate with Landscape Architect for selection, tagging, inspections, storage, maintenance and transfer of trees.
4. Provide off site maintenance and storage as directed in the Contract Documents.
5. Plants shall not be moved outside of their designated climate zones once the Acclimatization Period begins.
6. Provide matching specimens as indicated in the Contract Documents.
7. This Trade Subcontractor shall provide own rigging, hoisting and placement of trees on site.
8. Deliveries shall be in coordination with Webcor/Obayashi Joint Venture and the Landscape Architect. Multiple deliveries will be required.

9. Provide a monthly rate for maintenance and storage, which is to be used, if necessary, once the one (1) year grow/acclimatization period is complete. This one year period begins once the plants are secured within their designated climate zones on an approved property and ends one calendar year later.

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Roof Park Landscaping

1. This Trade Subcontractor shall furnish and install the roof park landscaping scope of work per the Contract Documents. This includes, but is not limited to, site preparation, storage prior to installation, maintenance, aggregate base, geotextile fabric, aggregate mulch, weed barriers, bio-barriers, root inhibitor, geosynthetic fill, filter fabric, soil/medium base components, soil preparation, planting soils, amendments, fertilizers, supplements, soil placement, planting, fine grading, finish grading, mulch, top dressing soils, transition soils, stabilizer fibers, ground covers, wetland planting medium, plant material, shrubs, vines, trees, plants requiring contract grow or acclimatization, sod, stakes, staking, scarification, headers, angles, ties, edging, root ball anchors, bracing systems, guying systems, erosion control mat, compaction, and disposal of excess materials as indicated or required for complete installations.
2. Coordinate with Landscape Architect for selection, tagging, inspections, storage, installation, maintenance and transfer of trees/plants.
3. Provide matching specimens as indicated in Contract Documents.
4. This Trade Subcontractor shall be responsible for rigging, hoisting and placement of trees on site.
5. Deliveries shall be in coordination with Webcor/Obayashi Joint Venture and the Landscape Architect. Multiple deliveries will be required.

Roof Park Maintenance Period

1. Provide maintenance per Specification Section 32 01 90 – Landscape Maintenance Period.
2. Landscape Maintenance Subcontract will be assigned to the TJPA at Roof Park TCO (Temporary Certificate of Occupancy) and the TJPA will directly manage the maintenance portion of the Subcontract.

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Roof Park Utility and Branch Conduit Corridors for Power, Data and Lighting

1. Furnish and install Roof Park Level utility corridor trench through geosynthetic fill and soils including, but not limited to, cutting geosynthetic fill, field shaping and modifying geosynthetic fill, backfill, sleeves as indicated or required for complete installation.
2. Electrical Trade Subcontractor will provide routing of roof park utility corridor branches off of the main utility corridor depicted in the Contract Documents. In addition to trenching, backfill, etc. along main utility corridor, this Trade Subcontractor shall include one (1) mile of trenching to accommodate branches from main utility corridors.
3. Furnish and install all pre-cast concrete Low and Line voltage utility vaults including lids, manhole covers, waterstops, dowels, embeds, covers and all necessary components for a complete unit.

Roof Park Drainage and Irrigation

1. This Trade Subcontractor shall furnish and install the drainage and irrigation scope of work at the Roof Park Level per the Contract Documents. This includes, but is not limited to, layout, precast concrete roof drain enclosures, inspection tubes, fertilizer injector, piping, catch basins, drains, cleanouts, cleanout/inspection covers, drain boxes, drain grates, fittings, couplings, plugs, fixtures, valves, swing joints, sleeves, conduit, trenching, backfill, remote control valves, valve boxes, control wire, heads, drip systems, bubblers, emitters, gauges, strainers, controllers, sensors, drain mat, geotextile fabric as indicated or required for complete installation.

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2. Point of Connection
 - a) This Trade Subcontractor provides and installs final connections and routing of Roof Park irrigation and control lines from the established point of connection for both water and power. This includes all sleeves and conduits through the work of other trade subcontractors as required to facilitate the work. This Trade Subcontractor shall coordinate the points of connection with the TG10.2 Plumbing Trade Subcontractor and TG10.4 Electrical Trade Subcontractor.
 - b) This Trade Subcontractor to furnish and install controllers, all low voltage wiring downstream of controllers, final connections, programming and startup. TG10.4 Electrical Trade Subcontractor will provide low voltage to controllers. Coordinate irrigation schedule with Webcor/Obayashi Joint Venture, Landscape Architect and Owner. Final hook up to high voltage, if necessary, provided by others. Coordinate with TG10.4 Electrical Trade Subcontractor prior to completion of system to ensure a complete, operational installation.
 - c) TG10.2 Plumbing Trade Subcontractor to provide roof drains in structural slab only. Protect drains from soil or other items. Install all area drain lines and perforated drains, with required drainage medium. Flush drains per the Contract Documents.

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Roof Park Site Furnishings

1. Furnish and install wood slat benches and chairs at the Roof Park Level. Include all associated components and embeds needed for proper installation.
 - a) Refer to RFI T-2077 RPL – Missing Specification 06 15 35 Site Carpentry in ASI 128 to see specification updates.
2. Provide café chairs and tables.

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Roof Park Miscellaneous Metals

1. Furnish and install all Roof Park Level tree grates, frames, plates and associated components/embeds.
2. Furnish and install handrails at Great Lawn Amphitheater Stair with all associated components/embeds.
3. Furnish and install all Roof Park utility vault lift out lids, angles, bars, shapes and handrails with all associated components/embeds.
4. Furnish and install all trench drains and stainless steel liners for trench drains on the Roof Park Level with all associated components/embeds.
5. Seismic joint tray and cover at the Roof Park will be provided by TG07.6 Topping Slabs, Bus Crash Rail and Expansion Joint Trade Subcontractor. This Trade Subcontractor shall coordinate with the TG07.6 Topping Slabs, Bus Crash Rail and Expansion Joint Trade Subcontractor for mock-up and installation of all components within and adjacent to the seismic joint tray and cover.
6. This Trade Subcontractor is to coordinate with TG17.1 Signage Trade Subcontractor for installation/attachment of signage on Roof Park rails.

Bus Fountain Hardscape

1. Precast Concrete
 - a) Furnish and install precast concrete bus fountain subslab units and basin unit, intermediate curve transition sections and custom end units.
 - b) Furnish and install precast concrete light well end units along bus fountain.
2. Glass Wall

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- a) Engineer, fabricate and install glass wall with shoe, including all anchorages, gaskets, etc. to provide a complete assembly.
 - i. Structural analysis and design requires the use of a 3-dimensional finite element program using geometric and material non-linear analysis, per Specification 08 05 13, 1.5.A.
3. Furnish and install Bus Fountain Grate and Frame
4. Coordination with TG10.4 Electrical and TG10.2 Plumbing Trade Subcontractors during installation and commissioning of a fully operational system. Bus Jet Fountain plumbing, electrical and lighting to be provided by others. This Trade Subcontractor shall include all pre-cast sleeving and blockouts required by TG10.4 Electrical and TG10.2 Plumbing Trade Subcontractors.

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Playground Structure

1. Furnish and install play structure equipment and play structure surfacing with all associated components and embeds needed for proper installation.
2. Play Structure Footings
 - a) Immediately provide play structure footing layout and locations to TG07.2 Superstructure Structural Concrete Trade Subcontractor.
 - b) Immediately provide play structure footing embeds and templates to TG07.2 Superstructure Structural Concrete Trade Subcontractor for installation. Provide pour watch to ensure proper installation.
 - c) Refer to RFI T-2082 SCS – Play Structure Anchor Assembly Footing at the Shear Key to see updated locations of shear keys at the playground.

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General

1. No stockpiling of soil or any materials on the roof beyond the structural limits outlined in the construction documents.
2. No walking, storage, transporting of material, etc. across glass floor, skylights or light column.
3. This Trade Subcontractor shall, in coordination with Webcor/Obayashi Joint Venture, delineate the pathways of travel on the Roof Park Level. This Trade Subcontractor shall coordinate with all other trade subcontractors requiring access, such as installation of site lighting, signage, etc., and cordon off all finished planting areas to prohibit excessive soil compaction.
4. This Trade Subcontractor is to review the use of, and weight of, equipment when working on the structure to confirm work is performed within available loading capacities as outlined in the Contract Documents. All equipment placed on the structure to be determined in coordination with Webcor/Obayashi Joint Venture and the building Structural Engineer.
5. This Trade Subcontractor shall include all associated components needed for proper installation of the Work, including but not limited to, all connections, reinforcement, dowels, aligners, caps, boards, insulation, plywood, pins, shims, anchors, adhesives, ties, waterstops, leveling courses, grout, mortar, coatings, sealants, repellents, priming, sleeves, embeds, inserts, sandblasting, additives, scoring, expansion joints, control joints, finishes, patching, staining, flashing, visual strip inlay, rebar caps.
6. Furnish and install all grout, sealants, surface preparation, priming, painting, other coatings, touch-up, and associated third party testing required for this scope of work. Sealant and caulking applications shall be professionally applied. Unacceptable applications, due to unprofessional applications or incorrect material, are to be removed and reinstalled at this Trade Subcontractor's expense.
7. This Trade Subcontractor to furnish embeds and verify placement and anchorage of all embeds before pour, whether installed by this Trade Subcontractor or installed by others. All costs (including scanning) associated with embeds, inserts or sleeves that do not get installed due to

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- this Trade Subcontractor's delay will be the responsibility of this Trade Subcontractor. All costs associated with not verifying correct placement of any embed (including misalignment) will be the responsibility of this Trade Subcontractor.
8. This Trade Subcontractor shall provide all required surface preparation as necessary for a complete installation. Preparation will include filling of cracks, holes and depressions, and removal of protrusions and bumps for concrete surfaces that fall within specified tolerances. Cleaning of substrate will be required if the following materials are present: form rust, oil, dirt/soil, foreign materials, and all materials that might adversely affect the performance of the mortar bed, grout, and setting materials. Provide for all adhesion tests as required by manufacturer(s) requirements.
 9. Site Paints
 - a) All site painting, per Specification 09 97 13 Site Paints, to be performed by TG16.0 Interiors/Finishes Trade Subcontractor.
 - b) This Trade Subcontractor to provide all shop work, per specification 09 97 13 Site Paints, required for materials in this scope of work including, but not limited to, repairs, touch up work, impacts from welding, etc.
 10. Scope includes all necessary sleeves, cut-outs, coring, and modifications necessary for typical mechanical, electrical, plumbing, irrigation, and other miscellaneous embeds and cut outs (including but not limited to utility corridors, fixtures, stair handrails, etc.). All cuts shall be clean, smooth, and as close as possible to item being cut around. This Trade Subcontractor shall cut, grout, caulk, and seal around recessed accessories where indicated in the project documents. There will be no cutting of materials within finished areas. All materials must be cut in either exterior areas or properly contained areas to avoid damaging adjacent finishes.
 11. This Trade Subcontractor shall seal all own penetrations, insuring they are in a water tight condition.
 12. Samples of all materials, in the quantities shown or specified in the Contract Documents or as required by the Owner or Architect, shall be submitted for approval prior to ordering of materials.
 13. Mockups, as specified in the Contract Documents, shall be submitted for approval prior to final installation. Location of on-site mockups to be coordinated with Webcor/Obayashi Joint Venture.
 14. Attic Stock, as specified in the Contract Documents, shall be provided by this Trade Subcontractor to the Owner
 15. This Trade Subcontractor is required to be present at all required city or special inspections.
 16. This Trade Subcontractor is responsible to confirm all required conditions are met prior to acceptance of substrate. The starting of installation confirms the acceptance of sub-surfaces.
 17. This Trade Subcontractor is responsible for replacement of materials in accordance with the Contract Documents.
 18. Include all required welding for this Trade Subcontractor's complete scope of work. Attachment members are to be cleaned by this Trade Subcontractor prior to welding. All welding, by certified welders, or bolting of attachment members to building by this Trade Subcontractor, prior to fireproofing. Grind welds smooth and flush. Provide all protection required from sparks and slag to protect workmen, other work, pedestrians, vehicles, adjacent properties, or anything subject to damage.
 19. This Trade Subcontractor shall use a wet saw for all cutting of masonry, stone or concrete to prevent the creation of excessive dust.
 20. This Trade Subcontractor acknowledges that concrete substrates are not perfectly flat or level, and shall include all cutting, trimming, sandblasting, and leveling required for a complete installation. This Trade Subcontractor shall include costs to shim, float, grind, etc. any concrete surface that falls within tolerances for this type of construction.
 21. This Trade Subcontractor is responsible for sealing all sleeving once installation is approved and signed off by appropriate agencies. This Trade Subcontractor is also responsible for repairing or

replacing any existing waterproofing damaged by this Trade Subcontractor. To maintain contract waterproofing warranty for damaged material all repairs and/or replacement shall be as directed by Webcor/Obayashi Joint Venture and conducted by the TG13.2 Roofing/Waterproofing Trade Subcontractor that installed the original work. This Trade Subcontractor shall directly pay the TG13.2 Roofing/Waterproofing Trade Subcontractor.

22. This Trade Subcontractor is responsible for repairing all fireproofing damaged and/or compromised from this Trade Subcontractor's activity. This includes, but is not limited to, performing own scraping and assuming responsibility for any/all re-inspections required for final acceptance of repaired areas. This Trade Subcontractor shall directly pay the TG16.8 Fireproofing Trade Subcontractor.
23. This Trade Subcontractor shall include multiple mobilizations and demobilizations as is necessary to complete their scope of work.
24. This Trade Subcontractor shall include specified products in its bid price unless an equal is determined to be sufficient prior to bid. If a bidder would like to propose a product equal to that specified, the bidder shall submit a QBD with all necessary backup documentation on the proposed product. The QBD answer will be the final determination regarding the acceptability of an equal product allowed in the bid price.
25. This Trade Subcontractor is to provide all patching and repairs as necessary and as outlined in the Contract Documents.
26. This Trade Subcontractor will assist with the balance of coordination and detailing required to incorporate landscape and irrigation work into Construction Documents. Coordinate with TG10.2 Plumbing and TG10.4 Electrical Trade Subcontractors as required for a complete system. This Trade Subcontractor will coordinate as a pro-active team member with the engineer of record, architects, and other engineering disciplines.
27. Include all commissioning for this Trade Subcontractor's own scope of work as well as collaboration with the TG10.4 Electrical and TG10.2 Plumbing Trade Subcontractor for fully integrated and functioning systems.
28. This Trade Subcontractor shall be responsible for all clean up and debris removal for this Trade Subcontractor's work including all mortar clean up and removal of mixer cleanout water from the jobsite on a daily basis. This Trade Subcontractor shall protect all surfaces from damage that could result from this Trade Subcontractor's Work.
29. At the conclusion of project construction, this Trade Subcontractor is responsible for cleaning, including power washing, all areas that may have been soiled by the work of this contract.

Alternates

This category includes all alternates to be priced for this trade package. Alternates listed above the "Total Base Bid Price" on the Schedule of Bid Prices are considered "above the line" Alternates. Above the line Alternate costs will be part of the "Total Base Bid Price" and will be used as a basis of award. Alternates listed below the "Total Base Bid Price" on the Schedule of Bid Prices are considered "below the line" Alternates. Below the line Alternate costs will not be part of the "Total Base Bid Price" and will not be used as basis of award. Trade Subcontractor shall furnish a cost for all Alternates; failure to do so shall render the Bid non-responsive.

1. Above the line Alternates:

a. Deductive Alternate - Plant and Elliptical Rails

Provide pricing for all Plant and Elliptical Rails (Ex. L1-2602 thru L1-2607, details L1-8678 thru L1-8682 and L1-2603, details L1-8683 and L1-8684)

Reference RFIs

RFI P1-0495 Unit Pricing
RFI P1-0663 TJPA Representative During Placement of Planting Soils
RFI P1-0677 Bus Jet Fountain Typical Radius for Mockup
RFI P1-0678 Mockup of Guying Systems
RFI T-2071 BOL – Design Build Bollards on Roof – Layout
RFI T-2074 BOL – Design Build Bollards on Roof – Footings
RFI T-2076 RPL – Tree on Café Lid
RFI T-2077 RPL – Missing Specification 06 15 35 Site Carpentry in ASI 128
RFI T-2078 RPL – Roof Park Reference to Alternate 16
RFI T-2079 RPL – Reference to Roof Park Café Area of Alternate Deduct
RFI T-2080 RPL – Play Structure Anchor Assembly Footing Callout
RFI T-2081 SCS – Play Structure Anchor Assembly Footing Connection
RFI T-2082 SCS – Play Structure Anchor Assembly Footing at the Shear Key
RFI T-2083 RPL – Vine Planting in Doorway
RFI T-2084 RPL – Connecting Bridge at Roof Park Bus Fountain
RFI T-2085 SSS – W-20 Uncoordinated Drawings
RFI T-2088 SCS – Drill into Structural Concrete at Seismic Joint for Bus Jet Fountain
RFI T-2089 SCS – Drill into Structural Concrete at Seismic Joint for Bus Jet Fountain and Plant Rail
RFI T-2090 RPL – Polystyrene Fill on Roof
RFI T-2173 RPL – Utility Corridor Details
RFI T-2174 RPL – Utility Corridor Distribution
RFI T-2175 RPL – Utility Corridor Access Points
RFI T-2176 RPL – Utility Corridor Conflict with Trees
RFI T-2177 RPL – Utility Corridor Conflict with Precast Roof Drain
RFI T-2178 RPL – Utility Corridor Conflict with Play Structure Footings
RFI T-2184 RPL – Incorporate P1-0152 Answer
RFI T-2185 RPL – Incorporate P1-0352 Answer
RFI T-2186 RPL – Incorporate P1-0474 Answer
RFI T-2187 RPL – Incorporate P1-0476 Answer
RFI T-2188 RPL – Incorporate P1-0477 Answer
RFI T-2189 RPL – Incorporate P1-0478 Answer
RFI T-2190 RPL – Incorporate P1-0480 Answer
RFI T-2191 RPL – Incorporate P1-0481 Answer
RFI T-2192 RPL – Incorporate P1-0493 Answer
RFI T-2193 RPL – Incorporate P1-0651 Answer
RFI T-2194 RPL – Incorporate P1-0665 Answer
RFI T-2195 RPL – Incorporate P1-0666 Answer
RFI T-2196 RPL – Site Precast Design Reference Sample
RFI T-2197 RPL – MRc5 Option 2 Language Required – CMU
RFI T-2199 RPL – Circular Planter Field Mockup
RFI T-2200 RPL – Circular Planter Attic Stock
RFI T-2201 RPL – Stone Slabs For Walls
RFI T-2202 RPL – Rail Welds
RFI T-2203 RPL – Metal Fabrications Protective Covering
RFI T-2204 RPL – Bond Breaker Samples
RFI T-2205 RPL – Seismic Joint Cover Blast Criteria
RFI T-2206 RPL – Park Level Seismic Joint Cover
RFI T-2207 RPL – Site Laminate Glass Graffiti-Resistance

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RFI T-2208 RPL – Mortar-Set Stone Paving Alternate
RFI T-2209 RPL – Weed Barrier Installation Requirements
RFI T-2210 RPL – MRc5 Option 2 Language Required - Play Area Surfacing
RFI T-2225 PLG – Missing Roof Drains at Roof Park Level at GL 4 & D
RFI T-2285 ELV – Installation of Light Fixture E18
RFI T-2288 ELV – Light Fixture E18 Clarification
RFI T-2309 TTC – Clash between concrete footing and fin wall

A

END OF SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

V. CONSTRUCTION SCHEDULE

B

Refer to Project Bidding Manual Rev. 30 Section IV.C for Construction Schedule.

B

END OF CONSTRUCTION SCHEDULE

VI. INSURANCE AND BONDING REQUIREMENTS

The insurance requirements outlined below supersede the related requirements in Specification Section 00 08 05 and Section 16 of the Long Form Subcontract.

1. TRADE SUBCONTRACTOR'S LIABILITY INSURANCE

This Trade Subcontractor shall maintain in full force and effect, for the period covered by the subcontract, the following liability insurance with the following minimum specified coverage or coverage as required by laws and regulations, whichever is greater:

- A. Workers' Compensation in the statutory amount, including Employers' Liability coverage with limits not less than \$1,000,000 each accident, injury, or illness, and coverage for Federal Employers Liability Act.
- B. Commercial General Liability insurance with limits not less than \$15,000,000 each occurrence combined single limit for bodily injury and property damage, including coverage for Contractual Liability, Independent Contractors, Explosion, Collapse, and Underground (XCU), Personal Injury, Broadform Property Damages, and completed operations. The required limit may be satisfied through a combination of primary commercial general liability and excess liability policies. Notwithstanding Section 16.7 of the Long Form Subcontract, the requirement to maintain \$15,000,000 in Commercial General Liability Insurance shall apply ONLY to this Trade Subcontractor. This Trade Subcontractor's subcontractors and/or lower-tier subcontractors shall maintain the levels of Commercial General Liability Insurance set forth in Section 16 of the Long Form Subcontract agreement.
- C. Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit for bodily injury and property damage, including owned, hired or non-owned vehicles, as applicable.

2. ADDITIONAL COVERAGES

- A. Professional Liability Insurance: In the event that this Trade Subcontractor employs professional engineer(s) or land surveyor(s) for performing Pre-Construction Services, field engineering, or preparing design calculations, plans and specifications, this Trade Subcontractor shall carry or shall require its retained engineers and land surveyors to carry professional liability insurance with limits not less than \$2,000,000 each claim / \$2,000,000 policy aggregate annually with respect to acts, errors, or omissions in connection with professional services to be provided under the subcontract, with any deductible not to exceed \$250,000 each claim. With respect to land surveyors only, this Trade Subcontractor or its retained engineers should only have to evidence \$1,000,000 in professional liability insurance covering that scope of work, consistent with the standard requirements set forth in Article 16 of the Long Form Subcontract.

3. INSURANCE FOR OTHERS

For general liability and automobile liability this Trade Subcontractor shall include as additional insured the Contractor (Webcor/Obayashi Joint Venture), TJPA, its board members, and all authorized agents and representatives, and members, directors, officers, trustees, agents and employees of any of them.

4. FORMS OF POLICIES AND OTHER INSURANCE REQUIREMENTS

- A. Workers' Compensation Insurance shall be submitted to the Contractor before the commencement of any of the Work on Site.
- B. Before commencement of the work of this subcontract, certificates of insurance in form and with insurers acceptable to Contractor, evidencing all required insurance and with proper endorsements from this Trade Subcontractor's insurance carrier identifying as additional insured the parties indicated under paragraph 3 above, shall be furnished to Contractor with complete copies of policies in accordance with the Project Bidding Manual.
- C. Approval of the insurance by the Contractor shall not relieve or decrease the extent to which this Trade Subcontractor or subcontractors of any tier may be held responsible for payment of any and all damages resulting from its operations. All policies of insurance and certificates shall be satisfactory to Contractor.
- D. This Trade Subcontractor and its subcontractors shall comply with the provisions of California Labor Code Section 3700. Prior to commencing the performance of work, this Trade Subcontractor and all of its subcontractors shall submit to the Contractor a certificate of insurance evidencing liability for workers compensation or proof of self-insurance in accordance with the provisions of the California Labor Code.
- E. Liability insurance, except for professional liability insurance, shall be on an occurrence basis, and said insurance shall provide that the coverage afforded thereby shall be primary coverage (and non-contributory to any other existing valid and collectable insurance) to the full limit of liability stated in the declaration, and such insurance shall apply separately to each insured against whom claim is made or suit is brought, but the inclusion of more than one insured shall not operate to increase the insurer's limits of liability.
- F. This Trade Subcontractor shall maintain professional liability coverage continuously throughout the term of this subcontract, and without lapse, for a period three years beyond the Contract Final Completion date to the effect that should occurrences during the Contract term give rise to claims made after expiration of the Contract, such claims shall be covered by such claims-made policies.
- G. Each such policy shall provide that no cancellation or non-renewal shall occur without the carrier giving to Contractor at least 30 days written notice prior thereto.

All notices shall be made to:

Webcor / Obayashi Joint Venture

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1751 Harbor Bay Parkway, Suite 200
Alameda, CA 94502

- H. This Trade Subcontractor, upon notification of receipt by Contractor of any such notice, shall provide Contractor a certificate of the required new or renewed policy at least 10 days before the effective date of such cancellation, change or expiration, with a complete copy of new or renewed policy, if requested.
- I. If, at any time during the life of this subcontract, this Trade Subcontractor fails to maintain any item of the required insurance in full force and effect, all work of this subcontract may, at Contractor's sole option, be discontinued immediately, and all subcontract payments due or that become due will be withheld until notice is received by the Contractor as provided in the immediately preceding Paragraph 4.G that such insurance has been restored to full force and effect and that the premiums thereof have been paid for a period satisfactory to the Contractor.
- J. Any failure to maintain any item of the required insurance may, at Contractor's sole option, be sufficient cause for termination for default of this subcontract.

5. QUALIFICATIONS

This Trade Subcontractor must provide coverage from insurance companies who shall be legally authorized to engage in the business of furnishing insurance in the State of California. All insurance companies shall have a current A.M. Best Rating not less than "A-, VIII" and shall be satisfactory to Contractor.

6. SUBGUARD AND BONDING

- A. This Trade Subcontractor is required to provide a Bid Bond for 5% of the total contract value.
- B. This Trade Subcontractor is not required to provide a Payment and Performance Bond. Subguard will be used in lieu of a Payment and Performance Bond.
- C. This Trade Subcontractor shall provide all documentation required by Subguard Surety to verify qualification for program.

END OF INSURANCE REQUIREMENTS

VII. CONTRACT DOCUMENT LIST

The Contract Documents for this Trade Package include the following:

D... C B A

Document Name	Description	Revision Name	Issue Date
Long Form Subcontract		Rev. 0	2015-02-26
Specification Division 00 and Division 01	Division 00 and Division 01 defined in Specification Section 00 01 10		2015-02-11
Technical Specifications	SFPUC IFB ES Drawings	Field Order # T-00029	2014-06-19
Technical Specifications	TG12.2 – OCS	Field Order # T-00033	2014-09-10
Technical Specifications	SFPUC IFB ES Drawings Revision 1	Field Order # T-00029R1	2014-09-16
Technical Specifications	IFC Conformed Set	CR No. T-128 ASI #128	2014-12-16
Technical Specifications	Main Package	CR No. T-134 ASI #130	2015-02-27
Drawings	SFPUC IFB ES Drawings	Field Order # T-00029	2014-06-19
Drawings	TG12.2 – OCS	Field Order # T-00033	2014-09-10
Drawings	SFPUC IFB ES Drawings Revision 1	Field Order # T-00029R1	2014-09-16
Drawings	IFC Conformed Set	CR No. T-128 ASI #128	2014-12-16
Drawings	Fountain Design	CR No. T-130 ASI #129	2015-01-29
Drawings	Main Package	CR No. T-134 ASI #130	2015-02-27
3D Models	Refer to the following file sharing website: https://webcor.box.com/s/j8gp4qxnd0wcouqsvmi8hri8abjsw4e4 Password: WebcorBid!	CR No. T-128 ASI #128	2014-12-16
QBDs	Questions on Bid Documents (QBDs)	TG13.1 IFB	2015-06-18
RFI's	Preconstruction RFIs (P1-0001 – P1-0686) Refer to the following link: https://webcor.box.com/s/y6j9sumu82ho7n5b728i		2015-02-19
RFI's	Construction RFIs (T-0001-T-2300 3200) Refer to the following link: https://webcor.box.com/s/e0leg0ysnlxguen0d3e55hnop04q5vke		2015-02-23 2015-06-17
Project Bidding Manual		Rev. 30	2015-03-13
<u>Exhibit A</u>	<u>Trade Subcontractor Bid Package Manual and Forms – Contract #301001301</u>	Rev. € D	2015-04-29 2015-06-18

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Document Name	Description	Revision Name	Issue Date
Exhibit B	Warranty		2010-09
Exhibit C	Lien Releases	Rev. 07/2012	2012-08-22
Exhibit D	Sample Certificate of Insurance and Additional Insured Endorsement		
Exhibit E	LEED Subcontractor Submission Letter and Data Sheet	Rev. 3	2014-03-13
Exhibit F	BIM Requirements	Rev. 3	2015-02-26
Exhibit G	Subcontractor Payment Requisition		2012-04-03
Exhibit H	Site Specific Safety Plan	Rev. 9	2014-07-10
Exhibit I	Schedule	Rev. 0 1	2015-02-19 2015-06-18
Exhibit J	Contractor Quality Control Plan	Rev. 10	2013-11-04
Exhibit K	Sediment and Erosion Control Plan		2011-02
Exhibit L	Hazardous Materials Management Plan	Rev. 1	2011-03-11
Exhibit M	RFI Q&A Log		2015-02-23 2015-06-17
Exhibit N	Noise & Vibration Mitigation Management Plan	Rev. 4	2012-09-07
Exhibit O	Air Quality Management Plan	Rev. 5	2012-01-16
Exhibit P	Construction Waste Management Plan	Rev. 6	2013-11-07
Exhibit Q	Apprenticeship Program	Rev. 0	2012-03-23
Exhibit R	Survey Information	Rev. 0	2012-03-23
Exhibit S	Traffic Control Plan	Rev. 2	2012-08-22
Exhibit U	Submittal Schedule	Rev. 0	2013-11-07
Exhibit W	Waterproofing		2011-05

A B C ...D

END OF CONTRACT DOCUMENT LIST

VIII. SUPPLEMENTAL DOCUMENTS LIST

This Trade Subcontractor shall review all of the supplemental documents listed below, which have been determined to be related to this Trade Package scope of work, and be familiar with all conditions affecting this Trade Subcontractor's scope of work. All associated costs due to the conditions and plans of the reference documents including all coordination shall be included in the Bid Amount.

Scoping Drawings are for use in clarifying the general scope of work, but are not all inclusive of the scope described. If a conflict or omission exists within the Scoping Documents and/or the Detailed Scope of Work, the written scope shall govern.

The Supplemental Documents for TG13.1 Roof Park Landscaping and Irrigation are listed below and are currently available through Webcor/Obayashi Joint Venture's FTP website:

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Document Type	Document Name	Revision Date
Scoping Drawing	A1-2604 Roof Park Level Zone 04 Floor Plan	03-06-2015
Scoping Drawing	A1-2606 Roof Park Level Zone 06 Floor Plan	03-06-2015
Scoping Drawing	A1-7013 Stair 401 & 403 Sections	01-29-2015
Scoping Drawing	A1-7111 Stair 401 and Elevators PE403 & PE404 Partial Plans	01-29-2015
Scoping Drawing	A1-8851 Roof Park Level Waterproofing Details	01-29-2015
Scoping Drawing	L1-1602 Park Level Zone 02 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-1603 Park Level Zone 03 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-1604 Park Level Zone 04 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-1605 Park Level Zone 05 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-1606 Park Level Zone 06 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-1607 Park Level Zone 07 Area ID Plan Phase 1	03-06-2015
Scoping Drawing	L1-2602 Park Level Zone 02 Material Plan Phase 1	03-06-2015
Scoping Drawing	L1-2603 Park Level Zone 03 Material Plan Phase 1	03-06-2015
Scoping Drawing	L1-2604 Park Level Zone 04 Material Plan Phase 1	03-06-2015
Scoping Drawing	L1-2605 Park Level Zone 05 Material Plan Phase 1	03-06-2015
Scoping Drawing	L1-2606 Park Level Zone 06 Material Plan Phase 1	03-06-2015
Scoping Drawing	L1-2607 Park Level Zone 07 Material Plan Phase 1	01-29-2015
Scoping Drawing	L1-2622 Park Level Zone 02 Subslab Plan Phase 1	03-06-2015
Scoping Drawing	L1-2623 Park Level Zone 03 Subslab Plan Phase 1	03-06-2015
Scoping Drawing	L1-2624 Park Level Zone 04 Subslab Plan Phase 1	03-06-2015
Scoping Drawing	L1-2625 Park Level Zone 05 Subslab Plan Phase 1	01-29-2015
Scoping Drawing	L1-2626 Park Level Zone 06 Subslab Plan Phase 1	03-06-2015
Scoping Drawing	L1-2627 Park Level Zone 07 Subslab Plan Phase 1	03-06-2015
Scoping Drawing	L1-2630 Park Level Great Lawn Deck and Planters Material Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2631 Park Level Play Area Material Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2632 Park Level Main Plaza North Material Enlrg Plan Phase 1	03-06-2015

Scoping Drawing	L1-2633 Park Level Main Plaza South Material Enlrg Plan Phase 1	03-06-2015
Scoping Drawing	L1-2638 Park Level Great Lawn Deck and Planters Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2639 Park Level Play Area Subslab Enlrg Plan Phase 1	03-06-2015
Scoping Drawing	L1-2640 Park Level Main Plaza North Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2641 Park Level Main Plaza South Subslab Enlrg Plan Phase 1	03-06-2015
Scoping Drawing	L1-2642 Park Level Restaurant Deck and Funicular Deck Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2643 Park Level 181 Deck Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2644 Park Level Greywater Garden and Deck Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2645 Park Level Bamboo Grove Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-2646 Park Level Bamboo Grove Subslab Enlrg Plan Phase 1	01-29-2015
Scoping Drawing	L1-3602 Park Level Zone 02 Grading and Drainage Plan Phase 1	01-29-2015
Scoping Drawing	L1-3603 Park Level Zone 03 Grading and Drainage Plan Phase 1	01-29-2015
Scoping Drawing	L1-3604 Park Level Zone 04 Grading and Drainage Plan Phase 1	01-29-2015
Scoping Drawing	L1-3605 Park Level Zone 05 Grading and Drainage Plan Phase 1	03-06-2015
Scoping Drawing	L1-3606 Park Level Zone 06 Grading and Drainage Plan Phase 1	01-29-2015
Scoping Drawing	L1-3607 Park Level Zone 07 Grading and Drainage Plan Phase 1	01-29-2015
Scoping Drawing	L1-4602 Park Level Zone 02 Piping Plan Phase 1	01-29-2015
Scoping Drawing	L1-4603 Park Level Zone 03 Piping Plan Phase 1	01-29-2015
Scoping Drawing	L1-4604 Park Level Zone 04 Piping Plan Phase 1	01-29-2015
Scoping Drawing	L1-4605 Park Level Zone 05 Piping Plan Phase 1	03-06-2015
Scoping Drawing	L1-4606 Park Level Zone 06 Piping Plan Phase 1	01-29-2015
Scoping Drawing	L1-4607 Park Level Zone 07 Piping Plan Phase 1	01-29-2015
Scoping Drawing	L1-5602 Park Level Zone 02 Lightweight Fill Plan Phase 1	03-06-2015
Scoping Drawing	L1-5603 Park Level Zone 03 Lightweight Fill Plan Phase 1	03-06-2015
Scoping Drawing	L1-5604 Park Level Zone 04 Lightweight Fill Plan Phase 1	03-06-2015
Scoping Drawing	L1-5605 Park Level Zone 05 Lightweight Fill Plan Phase 1	01-29-2015
Scoping Drawing	L1-5606 Park Level Zone 06 Lightweight Fill Plan Phase 1	01-29-2015
Scoping Drawing	L1-5607 Park Level Zone 07 Lightweight Fill Plan Phase 1	01-29-2015
Scoping Drawing	L1-5622 Park Level Zone 02 Soils Plan Phase 1	01-29-2015
Scoping Drawing	L1-5623 Park Level Zone 03 Soils Plan Phase 1	01-29-2015
Scoping Drawing	L1-5624 Park Level Zone 04 Soils Plan Phase 1	01-29-2015
Scoping Drawing	L1-5625 Park Level Zone 05 Soils Plan Phase 1	03-06-2015
Scoping Drawing	L1-5626 Park Level Zone 06 Soils Plan Phase 1	03-06-2015
Scoping Drawing	L1-5627 Park Level Zone 07 Soils Plan Phase 1	03-06-2015
Scoping Drawing	L1-6602 Park Level Zone 02 Tree Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6603 Park Level Zone 03 Tree Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6604 Park Level Zone 04 Tree Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6605 Park Level Zone 05 Tree Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6606 Park Level Zone 06 Tree Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6607 Park Level Zone 07 Tree Planting Plan Phase 1	03-06-2015

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Scoping Drawing	L1-6622 Park Level Zone 02 Understory Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6623 Park Level Zone 03 Understory Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6624 Park Level Zone 04 Understory Planting Plan Phase 1	01-29-2015
Scoping Drawing	L1-6625 Park Level Zone 05 Understory Planting Plan Phase 1	03-06-2015
Scoping Drawing	L1-6626 Park Level Zone 06 Understory Planting Plan Phase 1	01-29-2015
Scoping Drawing	L1-6627 Park Level Zone 07 Understory Planting Plan Phase 1	01-29-2015
Scoping Drawing	L1-6632 Park Level Zone 02 Irrigation Plan Phase 1	01-29-2015
Scoping Drawing	L1-6633 Park Level Zone 03 Irrigation Plan Phase 1	01-29-2015
Scoping Drawing	L1-6634 Park Level Zone 04 Irrigation Plan Phase 1	01-29-2015
Scoping Drawing	L1-6635 Park Level Zone 05 Irrigation Plan Phase 1	03-06-2015
Scoping Drawing	L1-6636 Park Level Zone 06 Irrigation Plan Phase 1	01-29-2015
Scoping Drawing	L1-6637 Park Level Zone 07 Irrigation Plan Phase 1	01-29-2015
Scoping Drawing	L1-7610 Park Level Details CMU Support Walls	01-29-2015
Scoping Drawing	L1-7611 Park Level Details CMU Support Walls	01-29-2015
Scoping Drawing	L1-7612 Park Level Details CMU Support Walls	01-29-2015
Scoping Drawing	L1-7613 Park Level Details CMU Support Walls	01-29-2015
Scoping Drawing	L1-7620 Park Level Details Concrete Basins	01-29-2015
Scoping Drawing	L1-7630 Park Level Details Seismic Joint	01-29-2015
Scoping Drawing	L1-7631 Park Level Details Seismic Joint	03-06-2015
Scoping Drawing	L1-7632 Park Level Details Seismic Joint	03-06-2015
Scoping Drawing	L1-7633 Park Level Details Seismic Joint	03-06-2015
Scoping Drawing	L1-7634 Park Level Details Seismic Joint	03-06-2015
Scoping Drawing	L1-7635 Park Level Details Seismic Joint	03-06-2015
Scoping Drawing	L1-7640 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7641 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7642 Park Level Details Concrete Subslab & Footings	03-06-2015
Scoping Drawing	L1-7643 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7644 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7645 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7646 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7647 Park Level Details Concrete Subslab & Footings	03-06-2015
Scoping Drawing	L1-7648 Park Level Details Concrete Subslab & Footings	01-29-2015
Scoping Drawing	L1-7655 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7656 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7657 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7658 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7659 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7660 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7661 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7662 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7663 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7664 Park Level Details Precast Concrete	01-29-2015

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Scoping Drawing	L1-7665 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7666 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7667 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7670 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7671 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7672 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7673 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7674 Park Level Details Precast Concrete	01-29-2015
Scoping Drawing	L1-7680 Park Level Details Miscellaneous Concrete Details	01-29-2015
Scoping Drawing	L1-7681 Park Level Details Miscellaneous Concrete Details	01-29-2015
Scoping Drawing	L1-7682 Park Level Details Miscellaneous Concrete Details	01-29-2015
Scoping Drawing	L1-7683 Park Level Details Miscellaneous Concrete Details	01-29-2015
Scoping Drawing	L1-7684 Park Level Details Miscellaneous Concrete Details	03-06-2015
Scoping Drawing	L1-7690 Park Level Details Geosynthetic Fill	01-29-2015
Scoping Drawing	L1-8620 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8621 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8622 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8623 Park Level Details Stone Paving	03-06-2015
Scoping Drawing	L1-8624 Park Level Details Stone Paving	03-06-2015
Scoping Drawing	L1-8625 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8628 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8629 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8633 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8634 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8636 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8637 Park Level Details Stone Paving	01-29-2015
Scoping Drawing	L1-8655 Park Level Details Resin Paving	01-29-2015
Scoping Drawing	L1-8656 Park Level Details Resin Paving	01-29-2015
Scoping Drawing	L1-8657 Park Level Details Resin Paving	03-06-2015
Scoping Drawing	L1-8665 Park Level Details Play Area Surfacing	01-29-2015
Scoping Drawing	L1-8666 Park Level Details Play Area Surfacing	01-29-2015
Scoping Drawing	L1-8670 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8671 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8672 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8674 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8675 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8676 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8677 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8678 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8679 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8680 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8682 Park Level Details Site Metals	01-29-2015

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Scoping Drawing	L1-8683 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8684 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8685 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8686 Park Level Details Site Metals	03-06-2015
Scoping Drawing	L1-8687 Park Level Details Site Metals	01-29-2015
Scoping Drawing	L1-8690 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8691 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8692 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8693 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8694 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8695 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8696 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-8697 Park Level Details Site Glass	01-29-2015
Scoping Drawing	L1-9600 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9601 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9602 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9603 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9604 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9622 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9625 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9626 Park Level Details Decks	01-29-2015
Scoping Drawing	L1-9630 Park Level Details Site Furnishings	01-29-2015
Scoping Drawing	L1-9631 Park Level Details Site Furnishings	01-29-2015
Scoping Drawing	L1-9635 Park Level Details Site Furnishings	01-29-2015
Scoping Drawing	L1-9636 Park Level Details Site Furnishings	01-29-2015
Scoping Drawing	L1-9637 Park Level Details Site Furnishings	01-29-2015
Scoping Drawing	L1-9650 Park Level Details Drainage	01-29-2015
Scoping Drawing	L1-9651 Park Level Details Drainage	01-29-2015
Scoping Drawing	L1-9652 Park Level Details Drainage	01-29-2015
Scoping Drawing	L1-9660 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9661 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9662 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9663 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9664 Park Level Details Soil and Planting	03-06-2015
Scoping Drawing	L1-9665 Park Level Details Soil and Planting	03-06-2015
Scoping Drawing	L1-9666 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9667 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9668 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9675 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9676 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9679 Park Level Details Soil and Planting	01-29-2015
Scoping Drawing	L1-9680 Park Level Details Plant Layout at Stair 301 Phase 1	01-29-2015

Scoping Drawing	L1-9681 Park Level Details Plant Layout at Stair 601 Phase 1	01-29-2015
Scoping Drawing	L1-9690 Irrigation Details	03-06-2015
Scoping Drawing	L1-9691 Irrigation Details	01-29-2015
Scoping Drawing	L1-9692 Park Level Details Irrigation Details	01-29-2015
Scoping Drawing	S1-3281 Roof Park Structures – Concrete Sections & Details	01-29-2015

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This Trade Subcontractor is responsible for reviewing and coordinating its work with all supplementary information provided.

The Supplementary Documents are available for download on the following FTP website:

TG13.1 - <https://webcor.box.com/s/yjx7vojzaf1se08cyq3mpw5mb1ld33nl>

Password: WebcorBid!

END OF SUPPLEMENTAL DOCUMENTS LIST

ATTACHMENT 1 BID FORM AND SCHEDULE OF BID PRICES

TO THE TJPA EXECUTIVE DIRECTOR

In response to the Advertisement for Bids for the following public work:

TG13.1 Roof Park Landscaping and Irrigation

The undersigned Bidder hereby proposes and agrees to execute the required contract, shall it be awarded to said Bidder, and to do all the work and furnish all the materials therefor, all in accordance with the Specifications and Drawings referred to in said Advertisement for Bids and at the prices named in the attached Schedule of Bid Prices.

The undersigned declares: That it is the Bidder (or by holding the position below indicated is authorized to execute this Bid Form on behalf of the Bidder); that said Bidder submits this Bid; that said Bidder has not, nor have any of its agents, officers, representatives or employees, been guilty of collusion with any officer or representative of Webcor/Obayashi Joint Venture or the TJPA, or with any other party or parties in the submission of this Bid; nor has said Bidder received any preferential treatment by any officer or employee of Webcor/Obayashi Joint Venture or the TJPA in the making or submitting of this Bid. The undersigned declares under penalty of perjury that all representations made on this Bid Form are true and correct.

Executed on _____ 20 _____

Telephone Number

Name of Firm or Corporation

Bidder or Authorized Representative

Position in Firm or Corporation

S.F. Business Tax Registration
Certificate Number

Address of Firm or Corporation Zip Code

Contractor's California License No.:

License Expiration Date:

BOND OR CHECK REQUIRED: There is herewith attached, as required by law, bid security in accordance with Project Bidding Manual.

NONDISCRIMINATION IN CONTRACTS AND SMALL BUSINESS ENTERPRISE PROGRAM:
Provisions of chapter 12B (including its implementing Rules and Regulations) of the San Francisco Administrative Code, and the TJPA Small Business Enterprise Program are incorporated herein and by reference made a part of the Bid Sections as though fully set forth. The Bidder and all lower-tier subcontractors and suppliers shall comply with these provisions and shall submit all required sections in a timely manner.

SCHEDULE OF BID PRICES
TG13.1 Roof Park Landscaping and Irrigation

Name of Bidder: _____

The undersigned, having examined all referenced documents and the Drawings, understanding the terms and conditions of the Contract Documents and the local conditions affecting the performance and costs of the Work, and having fully inspected the Site in all its particulars, hereby proposes and agrees to fully perform the Work as indicated on the Drawings and in accordance with the requirements of the Contract Documents within the time stated therein, and for the following price(s):

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No.	Item Description	Unit of Measure	Bid Price
1	Roof Park Landscaping and Irrigation	LS	
2	Provide Landscape Maintenance per Specification Section 32 01 90 – Landscape Maintenance Period	LS	
3	One (1) Mile of Trenching to Accommodate Branches From Main Utility Corridor	LS	
4	Cranes/Hoisting	LS	
5	Deductive Alternate - Plant and Elliptical Rails	LS	
TOTAL BASE BID PRICE (Sum of Item 1 – 5)			
PERFORMANCE AND PAYMENT BOND RATE (This is for informational purposes only)			%
POTENTIAL PAYMENT AND PERFORMANCE BOND COST (Total Base Bid Price x Bond Rate; this is for informational purposes only)			\$
6	Monthly Maintenance and Storage Once the One (1) Year Grow Period is Complete	MO	

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The second and third lowest responsible bidders on the TG13.1 Roof Park Landscaping and Irrigation Trade Package that submit a responsive Bid Proposal with a Total Base Bid Price within thirty percent (30%) of the lowest responsible and responsive bidder's Total Base Bid Price shall receive a Bid Stipend of Fifty Thousand Dollars (\$50,000), subject to the conditions set forth herein.

The Bid Stipend shall be paid by TJPA to the second and third lowest responsible bidders that submit a responsive Bid Proposal within sixty (60) days after the award by WOJV of the TG13.1 Roof Park Landscaping and Irrigation Trade Subcontract to the successful Bidder.

The successful Bidder that is awarded the TG13.1 Roof Park Landscaping and Irrigation Trade Package will not receive a Bid Stipend.

The Bid Stipend is not intended to compensate a bidder for all costs incurred by bidder in the preparation of its Bid Proposal.

Bidder shall furnish a price for all Bid items, including all alternates, set forth in the Schedule of Bid Prices. Failure to furnish a price for all items set forth in the Schedule of Bid Prices shall render the Bid non-responsive and will be cause for its rejection. If an item is left blank, the price shall be assumed to be zero (\$0.00).

In case of discrepancy between the sum of Bid item amounts and the Total Base Bid Price, the sum of said amounts shall prevail. In case of discrepancy between words and figures, the words shall prevail.

Accepted VE Proposals, if any, shall be deducted from the Total Base Bid Price to determine the Bidder's Total Bid Price.

Alternates may be additive or deductive. Bidder must bid and provide a price for all Alternates specified.

Alternates shall cover all costs of alternate Work only as indicated on the Bid Documents and shall not include any Work under any base bid items. Alternate prices shall include markups for overhead and profit. The Bidder shall be responsible to indicate by using plus (+) or minus (-) signs whether alternate amounts are intended to be added to or subtracted from the Total Bid Price.

Webcor/Obayashi Joint Venture will make the actual addition of alternates to or subtraction of alternates from the Total Bid Price. In case an additive alternate amount does not include a plus or minus sign, the amount will be presumed to be additive (+) to the Total Bid Price. In case a deductive alternate amount does not include a plus or minus sign, the amount will be presumed to be deductive (-) from the Total Bid Price.

The total of all Bid items included in the Total Base Bid Price, and accepted Value Engineering ("VE") Proposals, will be considered in determining the Bidder's Total Bid Price.

The Contract, if awarded, will be awarded to the responsible Bidder who submits the lowest responsive Total Bid Price, in accordance with the methodology described above.

Webcor/Obayashi Joint Venture and the TJPA reserve the right to add to or deduct any of the alternates specified in the Schedule of Bid Prices from the Contract Award after the lowest responsible Bidder has been determined. If any alternates are added or deducted after the Contract award, the added or deducted alternate shall be incorporated into the Contract by Change Order at the bid price listed in the Schedule of Bid Prices. Bidder agrees to hold the bid price for all alternates listed above for 90 days following the TJPA's Board approval of the Contract award.

Bidder acknowledges and agrees that this Bid, if not withdrawn prior to the scheduled time for receipt of Bids, shall not be withdrawn for a period of 90 days thereafter.

Total Bid Price:
\$

In Written Words:

Bid submitted by:

_____(seal)
Name of Firm, Corporation, Partnership or Joint Venture

Names of All Partners, if Partnership

State of Incorporation, if Corporation

Signature of Bidder or Authorized Representative

Date of Bid

Name and Title of Authorized Representative

Note: If Bidder is a corporation, set forth the legal name of the corporation together with the signature of the officer or officers authorized to sign contracts on behalf of the corporation. If Bidder is a partnership, set forth the name of the firm together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership. A corporate authority document which indicates individual is authorized to execute bid documents on behalf of the Firm, Corporation, Partnership or Joint Venture shall be attached.

END OF BID FORM AND SCHEDULE OF BID PRICES

ATTACHMENT 2 LOGISTICS

The following attached drawings present the conceptual logistical as-built plans. Locations and configurations are for reference and subject to change:

SL-001 Site Logistics Plan dated 03/05/2014
SL-002 Site Truck Routing Plan dated 03/22/2012
SL-025 Site Logistics Construction Zones dated 05/28/2014
SL-027 Rooftop Obstructions – For Reference Only dated 12/05/2013
A101 Personnel and Material Hoist Layout – Bracing dated 12/20/2013
A102 Personnel and Material Hoist Layout – Lower Concourse dated 12/20/2013
A103 Personnel and Material Hoist Layout – Ground Level dated 12/20/2013
A104 Personnel and Material Hoist Layout – Second Level dated 12/20/2013
A105 Personnel and Material Hoist Layout – Bus Deck Level dated 12/20/2013
A106 Personnel and Material Hoist Layout – Roof Level dated 12/20/2013
A107 Personnel and Material Hoist #1 Location dated 12/20/2013
A108 Personnel and Material Hoist #2 Location dated 12/20/2013
A109 Personnel and Material Hoist #3 Location dated 12/20/2013
A110 Personnel and Material Hoist #4 Location dated 12/20/2013
X-08 Temporary Platform dated 02/15/2013

END OF LOGISTICS

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ATTACHMENT 3 TEMPORARY PROTECTION

This additional requirement shall supplement temporary protection requirements as specified in referenced Specification Sections under all referenced Roof Park Landscaping and Irrigation in this trade package. This temporary protection shall not relieve this Trade Subcontractor from the full responsibility of replacing any damaged system in kind at no additional cost to the Owner.

This Trade Subcontractor shall furnish, install and maintain temporary protection and barricades as follows:

A. Temporary Protection:

1. Upon completion of the following systems through Substantial Completion of the Transit Center Building, this Trade Subcontractor shall furnish, install and maintain temporary protection to prevent damage to these systems including but not limited to scratches, chipping, cracking or damage to the textured surface and as follow:
 - i. Site Laminate Glass - Glass Panels:
This Trade Subcontractor shall furnish and install Skudo Glass Advanced sprayed on system on both sides of the panels shown on detail 1/L-7634, Plant Walls L-7635 and similar details. Wrap top rails with Tack-Mat Heavy Traffic type.
 - ii. Stone Masonry – Stone slabs; This Trade Subcontractor shall furnish and install Skudo Tack-Mat Heavy Traffic on stone slabs as shown on details on L-8633 and similar.
 - iii. Site Furniture – not limited to the following ie., Benches, Bollards, **and** Fountains ~~and Pylons~~; This Trade Subcontractor shall install these items near the completion of roof park and coordinate with WOJV.
 - iv. Aluminum Tree Grates shown on details L-8674 and 8675 and similar details; This Trade Subcontractor shall install these items near the completion of the roof park and coordinate with WOJV.
 - v. At skylight 2; This Trade Subcontractor shall furnish and install 2 layers of Skudo Tack Mat Heavy Traffic up 4 feet all around exterior surfaces to protect the curtain wall of this skylight.
 - vi. At and both elliptical skylights 3; This Trade Subcontractor shall furnish and install one layer of Skudo Tack Mat Heavy Traffic with one layer of Coroplast boards around the edges of the skylights and over the gutters.
 - vii. Finished concrete slabs and Resin Aggregate Paving; This Trade Subcontractor shall provide temporary protection 8 foot wide of Skudo Tack-Mat Heavy Traffic at traffic path areas from stairs to elevators as directed by WOJV.
2. Protection and Barricades may be required to be installed in multiple-phases due to certain portions of the following roof park elements and not limited to the following; Stone Masonry, Site Metal Fabrications, Site Laminate Glass and Glazing, Site Furniture and Resin Aggregate Surfacing systems receiving final Acceptance prior to others.
3. This Trade Subcontractor shall maintain all temporary protection and repair or replace until final acceptance. This Trade Subcontractor shall replace the Skudo Tack Mat protection after

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- as required the manufacturer after 9 months of weather exposure and as required by Skudo Manufacturer depending on the wind conditions.
4. This Trade Subcontractor shall final clean all Roof Park elements as required per the contract documents prior to installing the temporary protection and after removal of the temporary protection by this Trade Subcontractor. This Trade Subcontractor shall peel, remove in its entirety and dispose the post-consumer recycled plastic temporary protection system from all protected surfaces prior to final cleaning by this Trade Subcontractor.
 5. This Trade Subcontractor shall replace any damaged glazing panels, exterior frames, glass panels, site furniture, stone panels, slabs or paving to match adjacent existing system color and finish without any additional cost to TJPA or any schedule impact.
- B. Barricades:
1. This Trade Subcontractor shall furnish, install and maintain A-Frame barricades at heavy traffic around W-8 and W-10 and other exterior wall systems at roof and landscaped areas and as follows:
 - i. Barricades shall be freestanding and moveable in order to coordinate with adjacent finishes and structures that are in place or under construction.
 - ii. Barricades shall be installed in a manner to withstand impacts by workers, push carts, ladders, hand tools and pallet jacks
 - iii. Barricades shall be installed in a manner that do not damage adjacent finishes and structures.
 - iv. Barricades shall be coordinated with the project schedule, and other Trade Subcontractors, and relocated or temporarily dismantled to allow for construction of adjacent finishes and structures.
- C. Temporary Protection and Barricade Removal and Clean-up:
1. This Trade Subcontractor shall remove and dispose of the temporary protection and barricades at the Substantial Completion of the Transit Center Building, or earlier at the direction of Webcor/Obayashi Joint Venture.
 2. This Trade Subcontractor shall perform final cleaning to remove all temporary protection and barricades as specified herein and as required per contract documents.
- D. This Trade Subcontractor shall prepare temporary protection plan and submit it for review and approval prior to QC Preparatory Meeting.

QC Assistant Responsibility Matrix 2.25.15			
ITEM	QC Assistant	Task Due	To WOJV QC
QC Tasks			
General: Primary responsibility of QC Assistant is document control of all quality records generated by QC team as required per contract and not limited to the following tasks as noted below.	x		
Phase I - Preparatory			WOJV QC
Email Preparatory Meeting Agenda	x	As required per schedule	WOJV QC
Email Preparatory Meeting Minutes and attached documents	x	As required per schedule	WOJV QC
DFOW sign-off Checklists (based on weekly DFOW meetings occurring each week)	x	Weekly	WOJV QC
Phase II - Initial			WOJV QC
Email Initial Meeting Agenda	x	As required per schedule	WOJV QC
Email Initial Meeting Minutes	x	As required per schedule	WOJV QC
Phase III - Follow-up			WOJV QC
Coordinate scheduling meetings with WOJV QC Assistant for all DFOW's	x		
Email Daily QC Reports (Super QC Specialists and Trade QC Mgr)		By End of Day Friday.	WOJV QC
QC Manager	x		WOJV QC
QC Specialists:			
QC Specialist 1	x	Daily	WOJV QC
QC Specialist 2	x	Daily	WOJV QC
QC Specialist 3	x	Daily	WOJV QC
QC Specialist 4	x	Daily	WOJV QC
1. Email sign-off checklists for each DFOW element	x	As required per schedule	WOJV QC
2. Transmit all Materials ID Reports	x	As required per schedule	WOJV QC

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3. Materials Test Reports	x	As required per schedule	WOJV QC
4. Inspection Requests (by Trade QC Mgrs)	x	As required per schedule	WOJV QC
5. Manage BIM 360 Inspection requests (upload documents to close out FCR's and NCR's)	x	Daily	BIM 360
6. BIM 360 Inspection Requests monitoring and tracking	x	Daily	

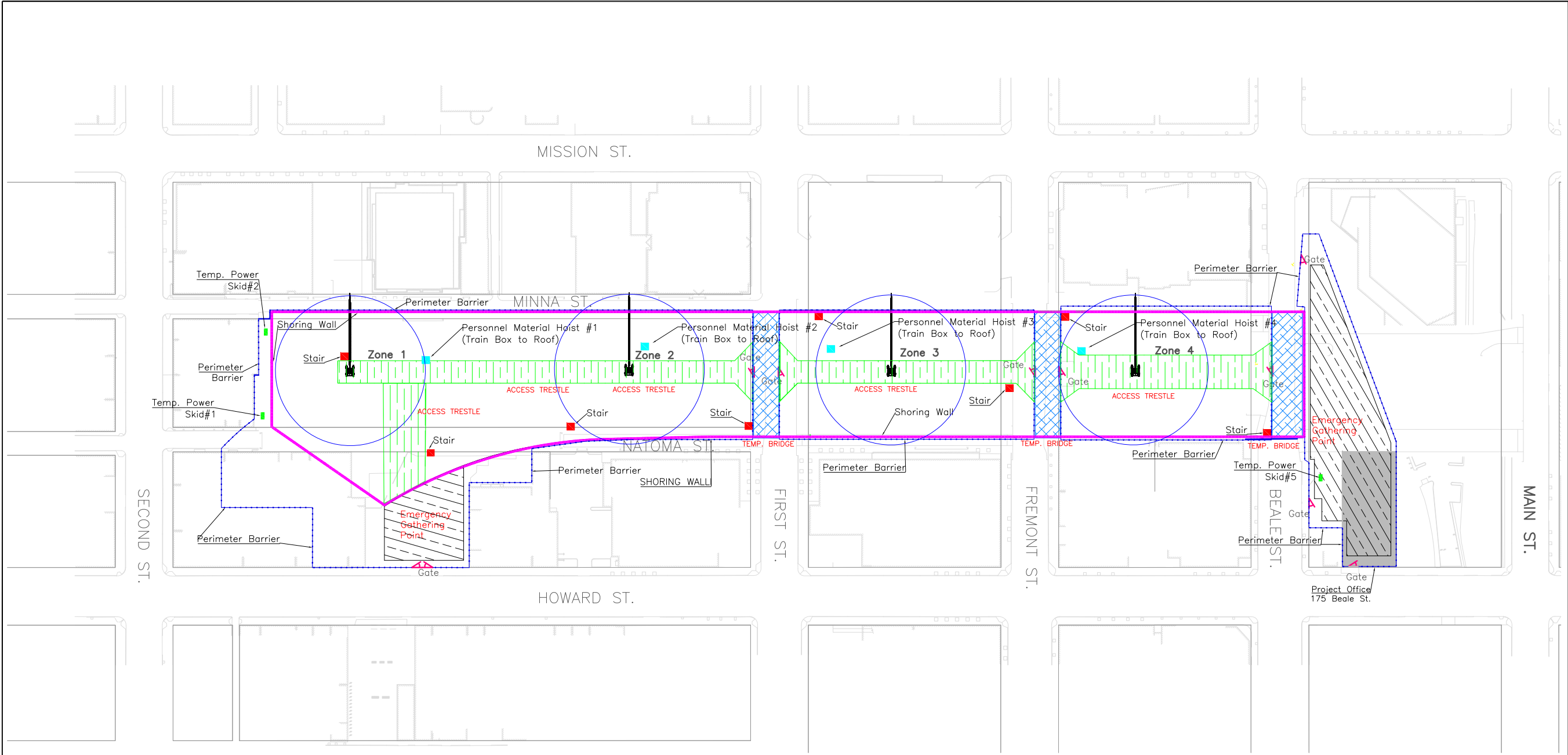
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END OF TEMPORARY PROTECTION

ISSUANCE LOG

REV No.	ISSUE	DATE
0	Issued For Bid TG13.1	2015-02-26
A	Addendum #1	2015-03-12
B	Addendum #2	2015-04-08
C	Addendum #3	2015-04-29
D	Addendum #4	2015-06-18

END OF EXHIBIT A



GENERAL NOTES

1. No jobsite parking available.

2. No loading or unloading of materials on city streets at any time. Violators will be cited and fined.

3. All deliveries must be coordinated with Webcor/Obayashi.

4. Storage of materials in Staging Areas must be coordinated with Webcor/Obayashi.

5. All visitors must check in at the Webcor/Obayashi project office.

6. Perimeter barrier location is for reference only. Each trade subcontractor shall identify the required perimeter barrier locations in the contract documents.
7. Location, size, and width of access trestles and temporary bridges to be designed per the requirements in the construction documents. Actual Locations are subject to change.

8. Personnel Material Hoists and stair locations are diagrammatic in nature and do not depict placement of hoists and stairs. Location to be coordinated with and approved by Webcor/Obayashi.

9. For staging areas, locations, and availability, see the latest issued revision of spec 01 14 19 – Restriction of Use to Site Areas. Usage of these areas will be at the discretion and assigned by Webcor/Obayashi. Refer to Contract Documents.
10. Location and configuration of gates are for reference only. For location and design refer to contract documents.

PROJECT NORTH

NOT FOR CONSTRUCTION

IMPORTANT NOTE:
THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE DESIGN ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL DIMENSIONS, LOCATIONS, AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO BE CHECKED ON-SITE AGAINST THE LATEST DESIGN AND DOCUMENTATIONS.

1751 HARBOR BAY PARKWAY
SUITE 200
ALAMEDA, CA 94502
Phone: (510) 748-1900
Fax: (510) 748-7829

JOBSITE
Address: 175 BEALE ST
SAN FRANCISCO, CA 94105
Phone: 415-978-5700
Fax: 510-748-7830

TRANSBAY TRANSIT CENTER

SAN FRANCISCO, CA

Revision Block		
Rev. No.	Description	Date
02	Updated Man & Material Hoists	08-13-10
D	Updated for TGO3 BSE Addendum 03	09-27-10
E	Updated for TGA.3/TG04.4 RUP	10-12-10
F	Updated for TGO3 BSE Addendum 05	10-20-10
G	Updated for TGO6.1 & TGO6.2	03-22-12
H	Updated for TGO6 Below Grade IFB	05-10-12
I	Updated for TGO6 Below Grade Addendum 01	06-22-12
J	Updated for TGO6 Below Grade Addendum 02	08-22-12
K	Updated for TGO5.8 Addendum #5 RFP	03-05-2014
Drawn By	RC	Date 10-20-10
Checked By	MP	Date 10-20-10

Job No.: 30100

Site Logistics

SCALE: N/A

SL-001

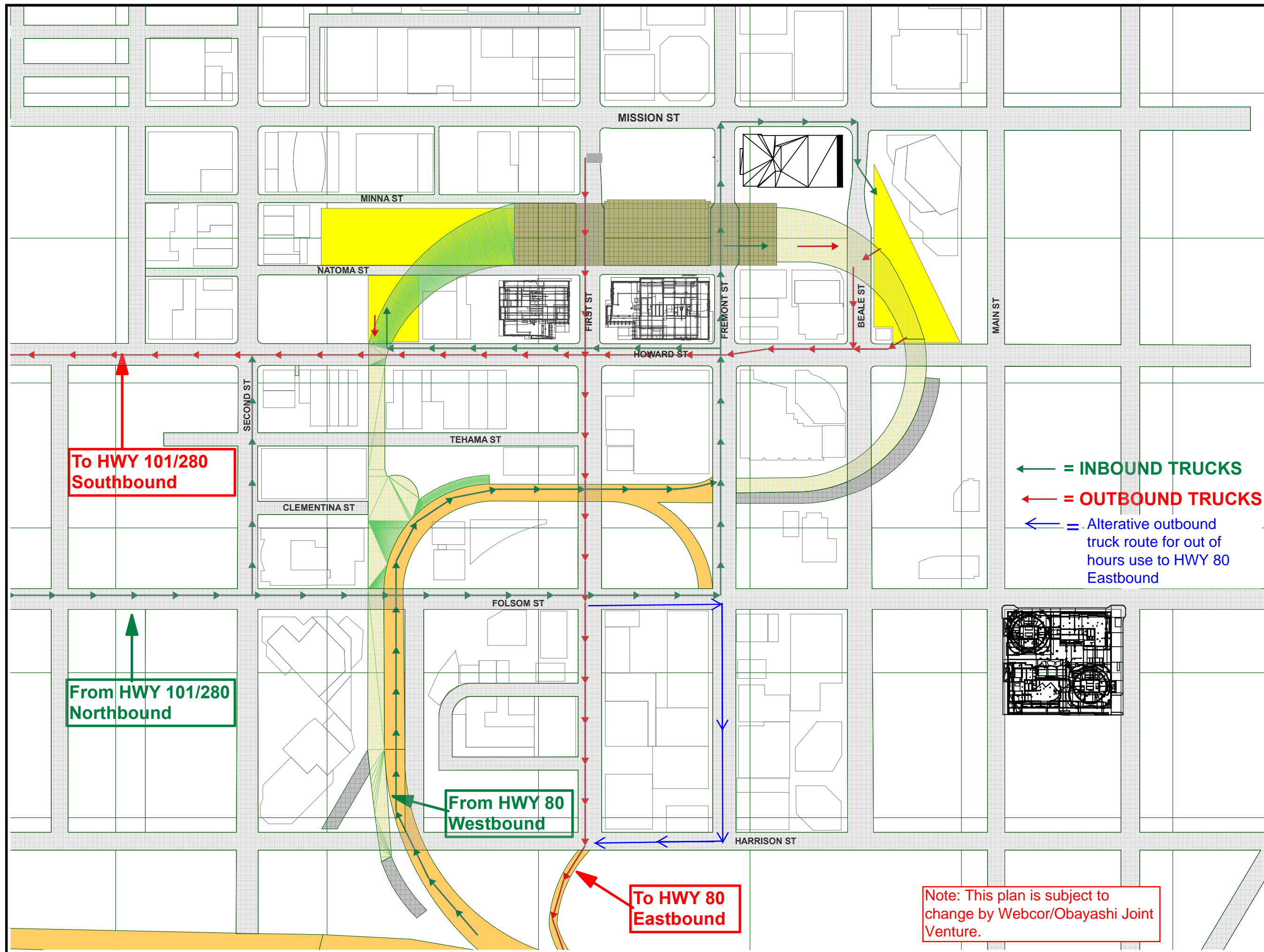
**TRANSBAY TRANSIT CENTER
SAN FRANCISCO, CA**

	03/22/12	
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MARK	DATE	DESCRIPTION
PROJECT NO:		
MODEL FILE:		
DRAWN BY: KB		
CHK'D BY:		
COPYRIGHT		

SHEET TITLE

Truck Routing Plan

SL - 002



JOBSITE
Address: 175 BEALE ST
SAN FRANCISCO, CA 94105
Phone: 415-978-5700
Fax: 510-748-7830

TRANSBAY TRANSIT CENTER

SAN FRANCISCO, CA

[illegible]

Drawn By	DH	Date	08-22-12
Checked By	SR	Date	08-22-12

Job No.: 30100

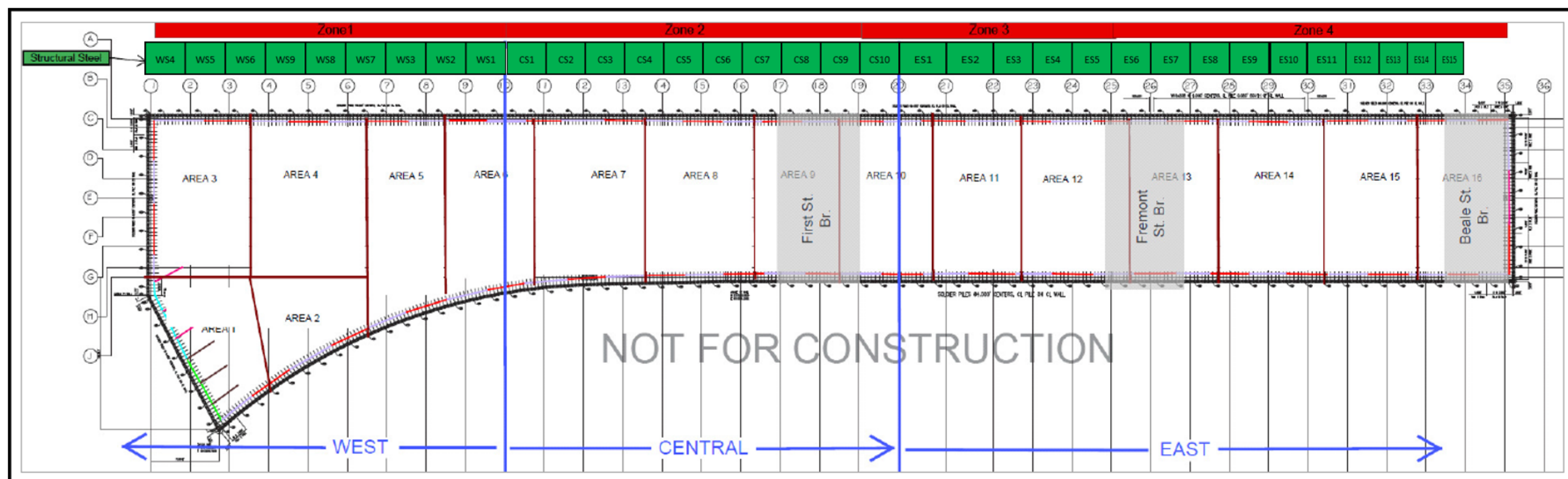
Construction Zones and Areas

SCALE: N/A

--	--

91 005

SL-025



NOT FOR CONSTRUCTION

IMPORTANT NOTE:

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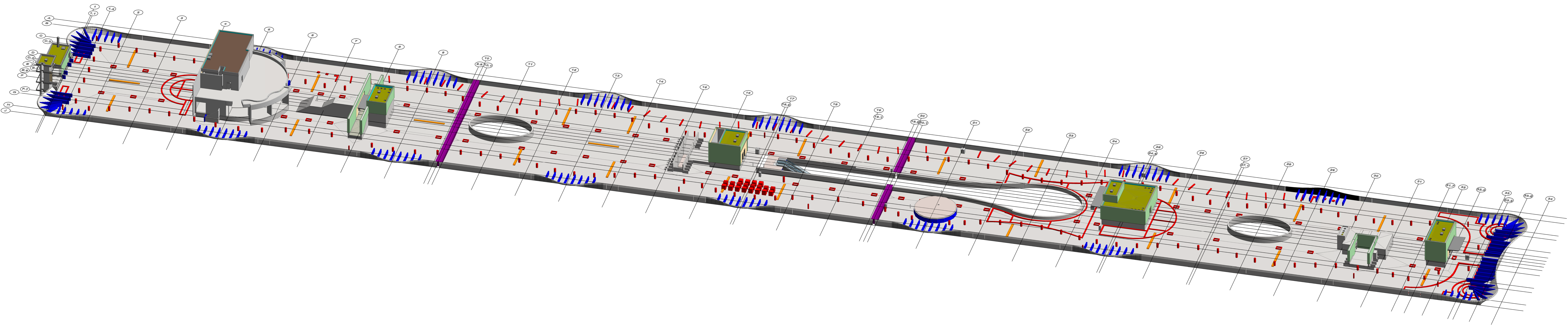
Transbay Transit Center
San Francisco, California

REV	DATE	DESCRIPTION
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4		CHECKED BY: X
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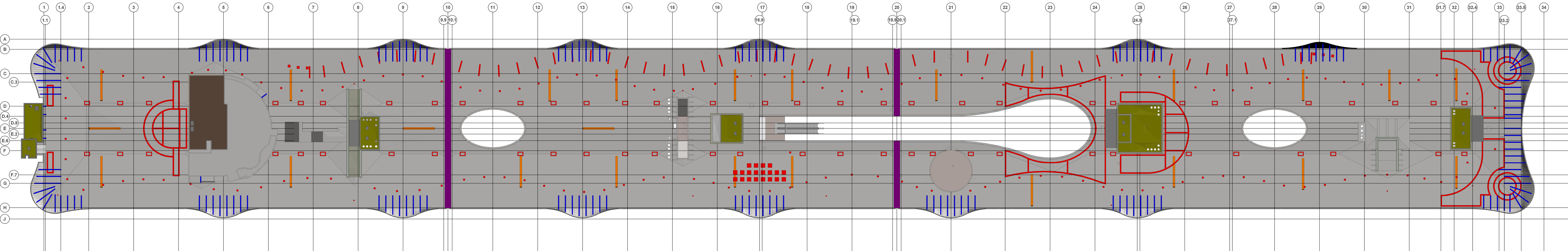
Rooftop
Obstructions
For Reference
Only

SL-027

Scale AS SHOWN



2 3D
SCALE: NTS



1 Plan
SCALE: 1" = 20'-0"



175 Beale Street
San Francisco, CA

Transbay Transit Center
San Francisco, CA

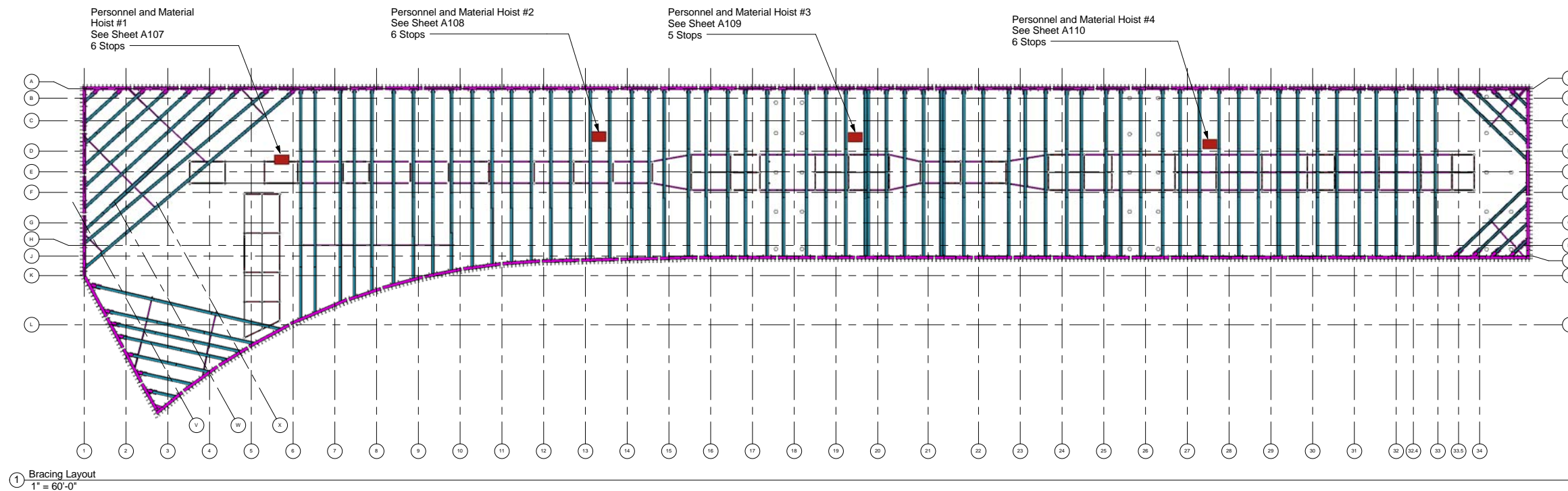
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R2	12/20/2013	
MARK	DATE	DESCRIPTION

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DRAWN BY:	X
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COPYRIGHT	

SHEET TITLE
Personnel and Material Hoist Layout - Bracing

A101

Scale	AS SHOWN
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NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street
San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

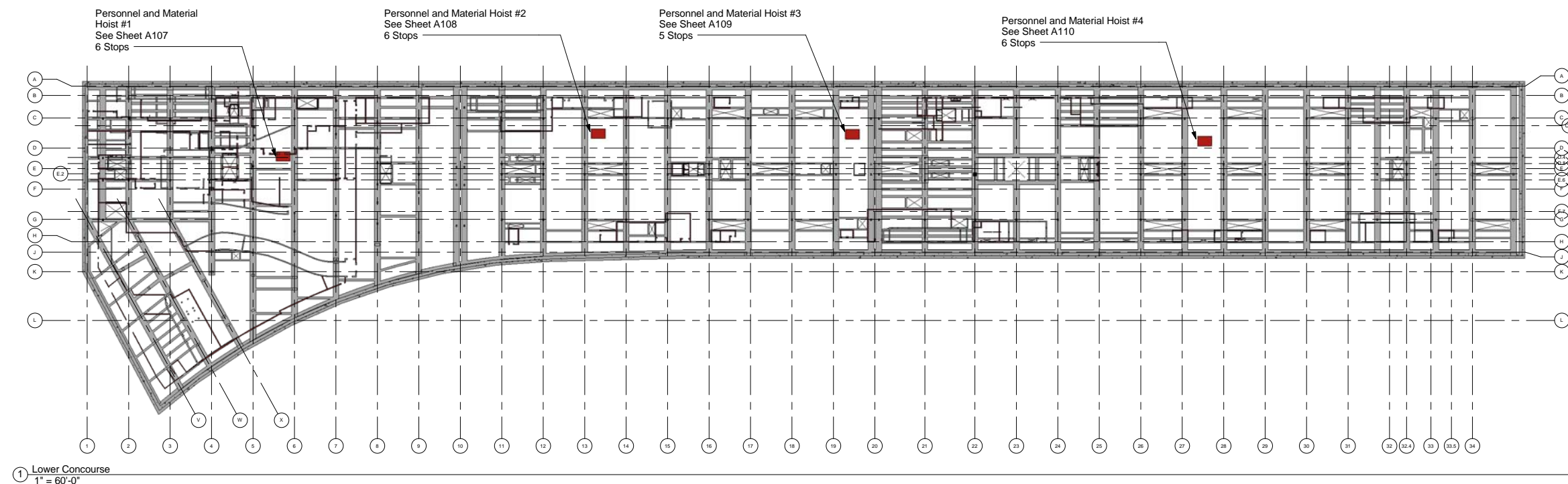
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SHEET TITLE

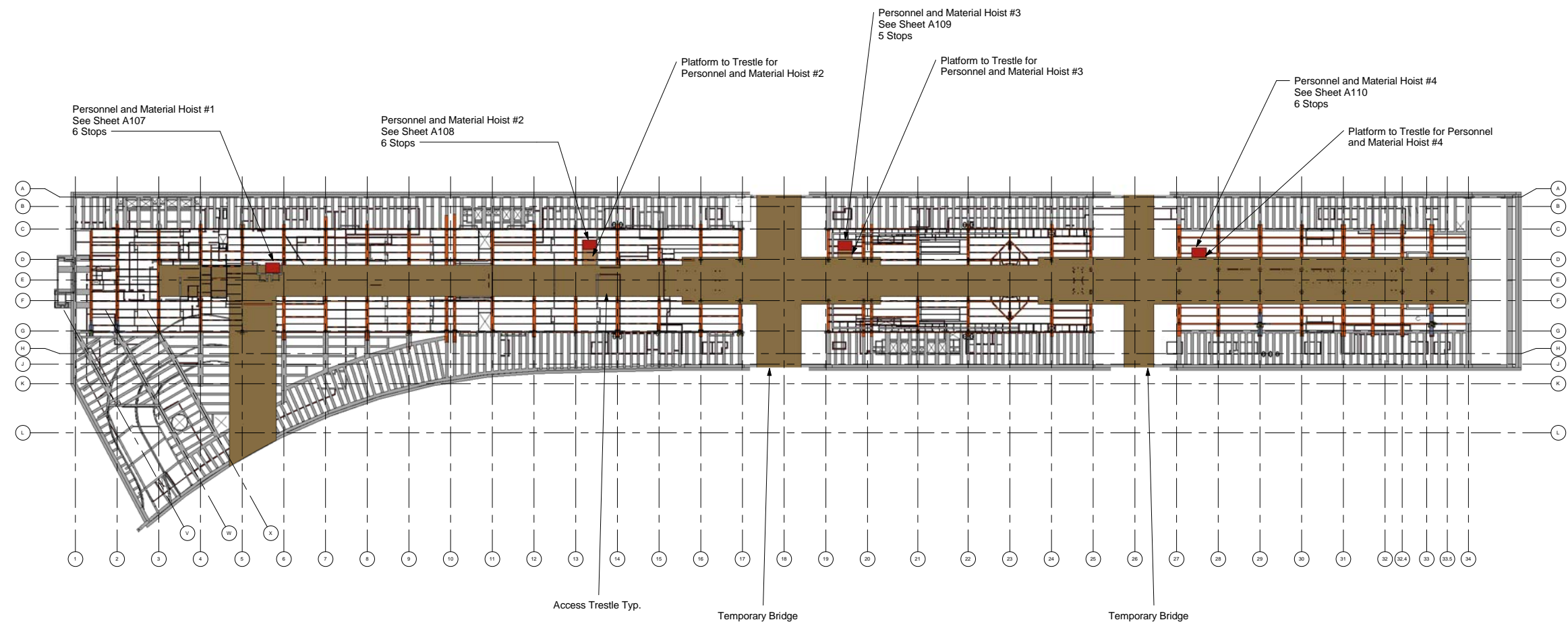
Personnel
and Material
Hoist Layout
- Lower
Concourse

A102

Scale AS SHOWN



NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



① Ground Level
1" = 60'-0"

- NOTES:**
- Personnel and Material Hoists #2, #3, and #4 platforms to be removed when trestle is removed in surrounding area.
 - Personnel and Material Hoist #1 to be installed after trestle and temporary bracing has been removed.

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street
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Transbay Transit Center

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R1	12/16/2013	
R2	12/20/2013	
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PROJECT NO:	X
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SHEET TITLE

Personnel
and Material
Hoist Layout
- Ground
Level

A103

Scale AS SHOWN



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San Francisco, CA

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San Francisco, CA

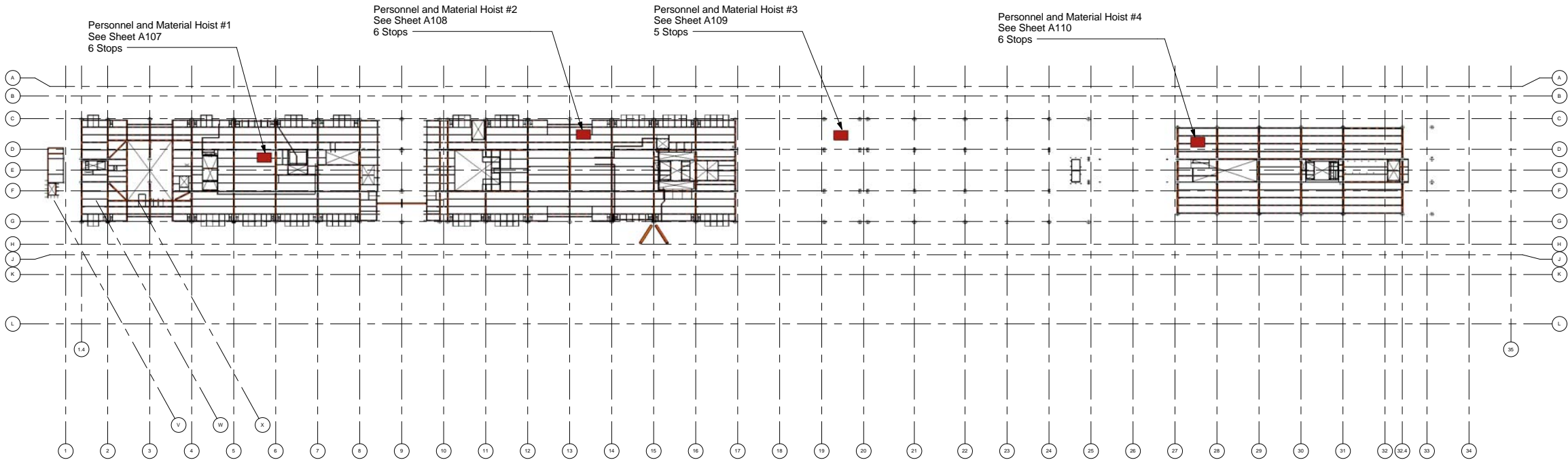
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R2	12/20/2013	
MARK	DATE	DESCRIPTION

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MODEL FILE:	X
DRAWN BY:	X
CHKD BY:	X
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PERSONNEL AND MATERIAL HOIST LAYOUT - SECOND LEVEL
--

A104

Scale AS SHOWN



① Second Level
1" = 60'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street
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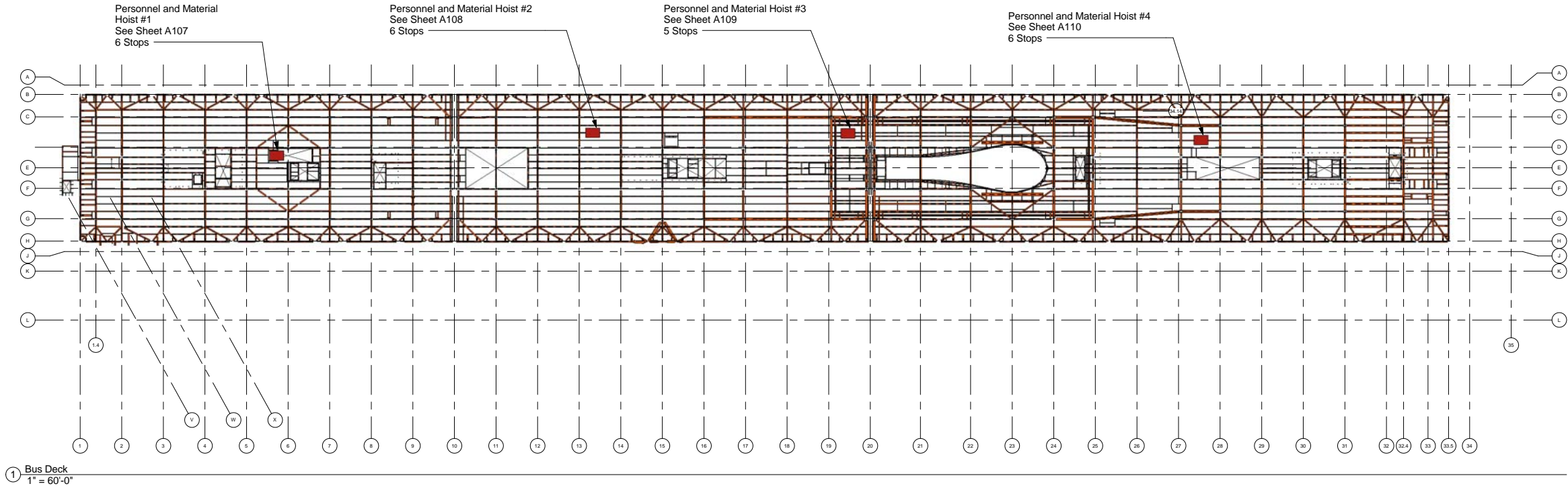
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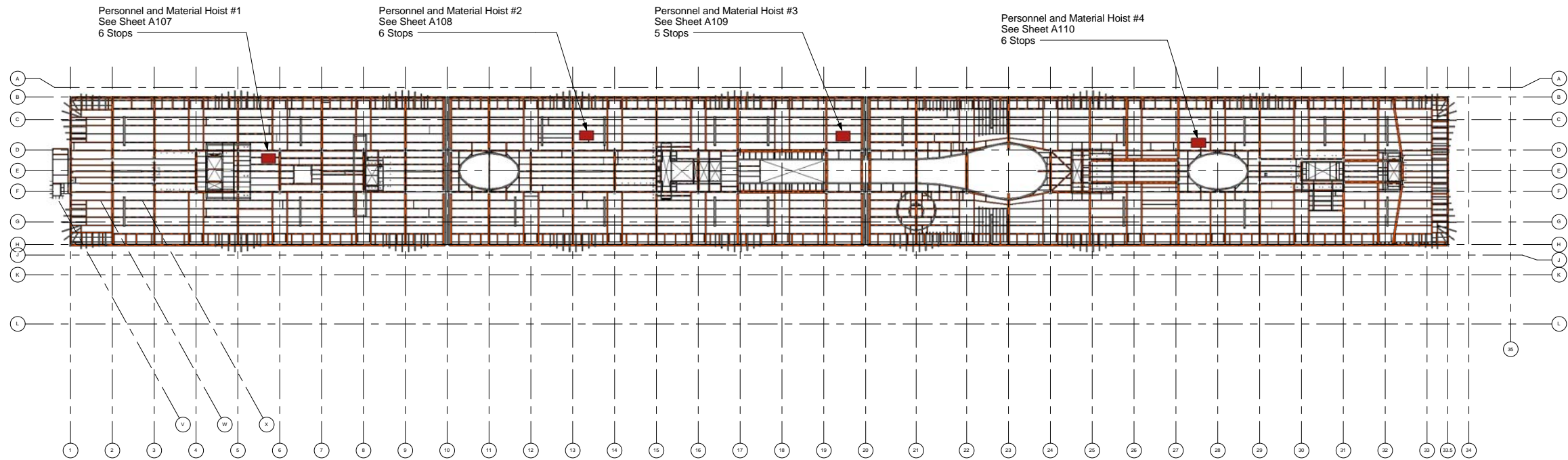
Personnel
and Material
Hoist Layout
- Bus Deck
Level

A105

Scale AS SHOWN



NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



① Roof Level
1" = 60'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



JOINT VENTURE

175 Beale Street
San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

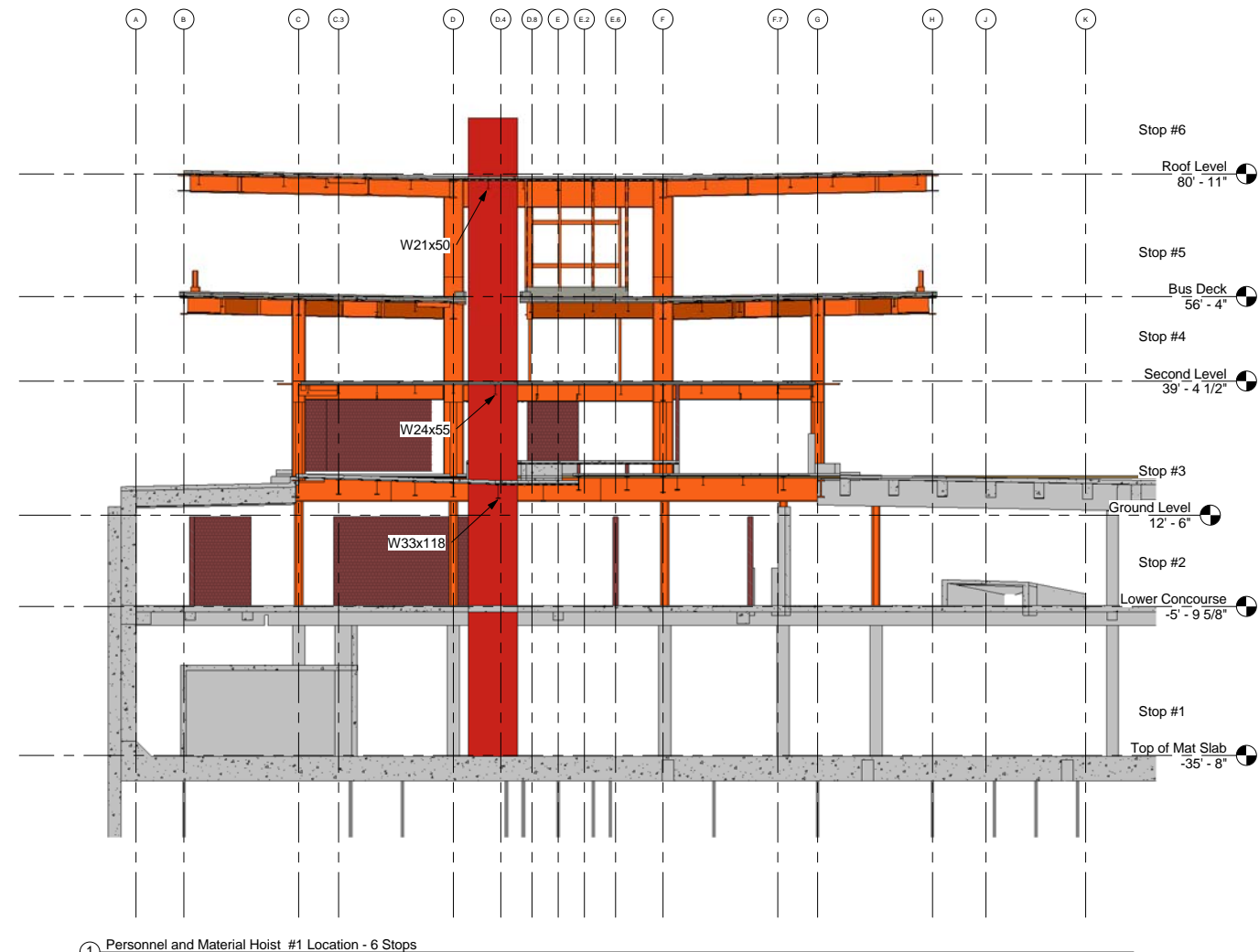
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SHEET TITLE

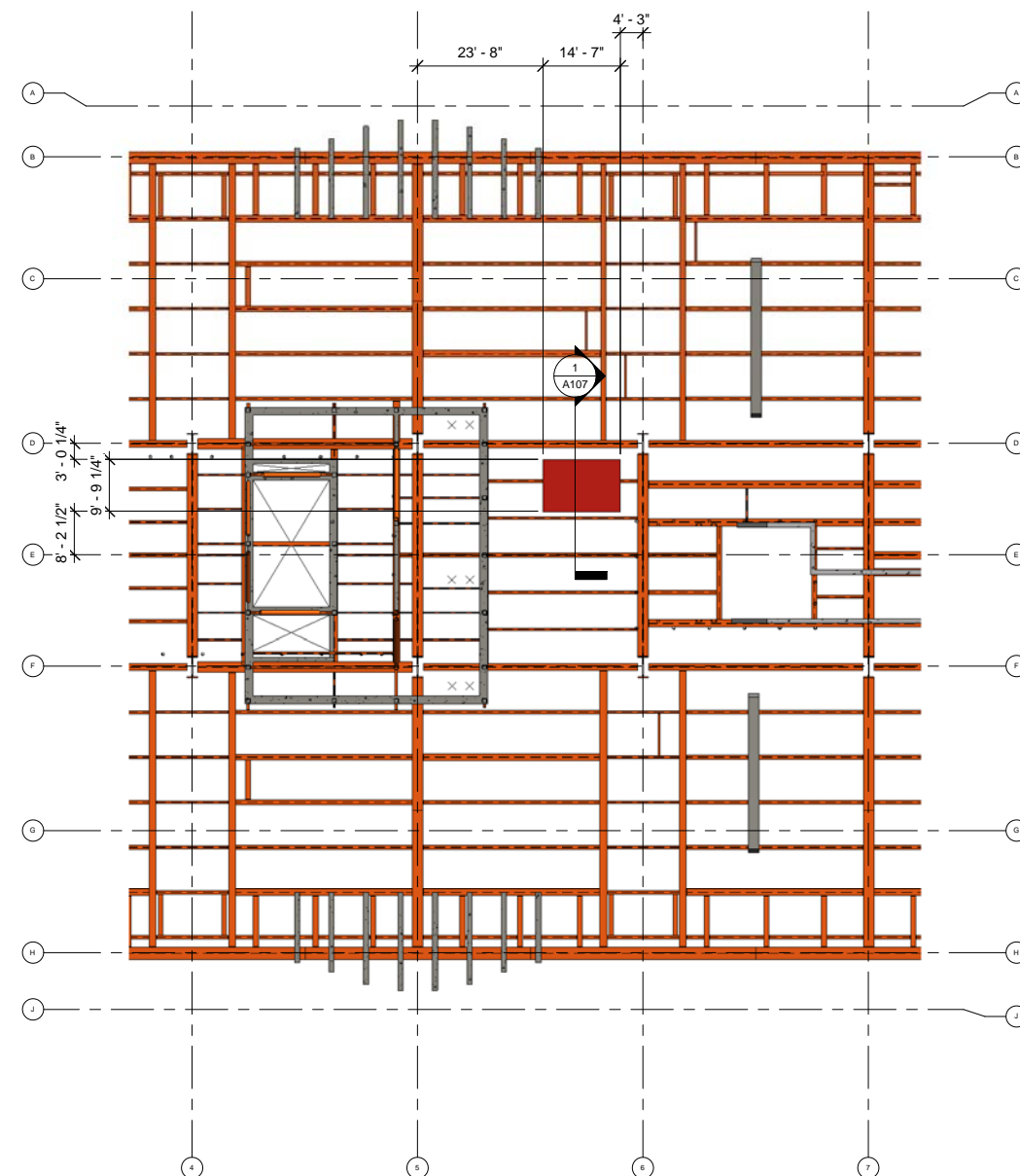
Personnel
and Material
Hoist Layout
- Roof Level

A106

Scale AS SHOWN



① Personnel and Material Hoist #1 Location - 6 Stops
1/16" = 1'-0"



② Personnel and Material Hoist #1 Detail - Roof Level
1/16" = 1'-0"

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street
San Francisco, CA

Transbay Transit Center
San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
MARK	DATE	DESCRIPTION

PROJECT NO:	X
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SHEET TITLE
**Personnel
and Material
Hoist #1
Location**

A107

Scale AS SHOWN



175 Beale Street
San Francisco, CA

Transbay Transit Center
San Francisco, CA

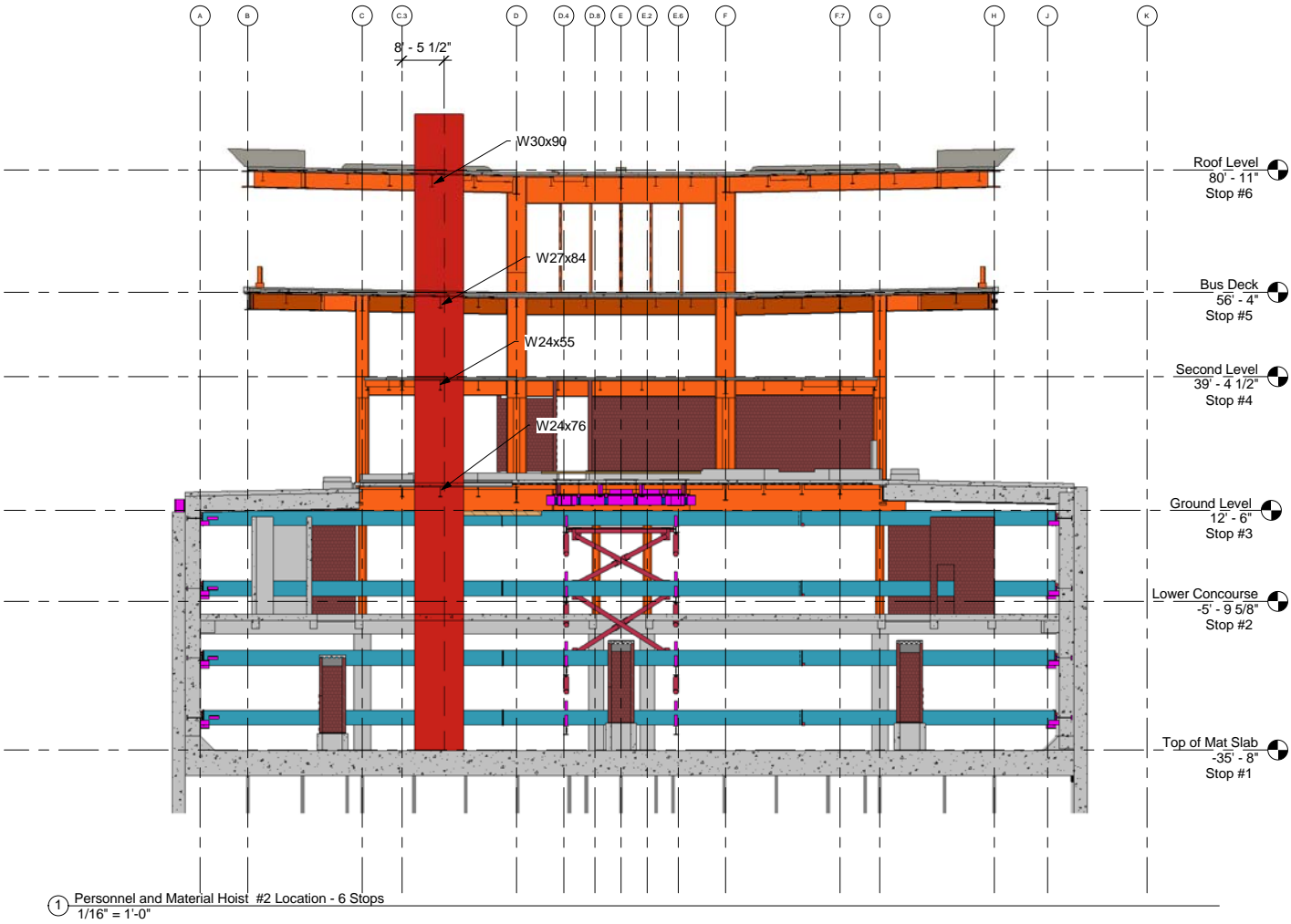
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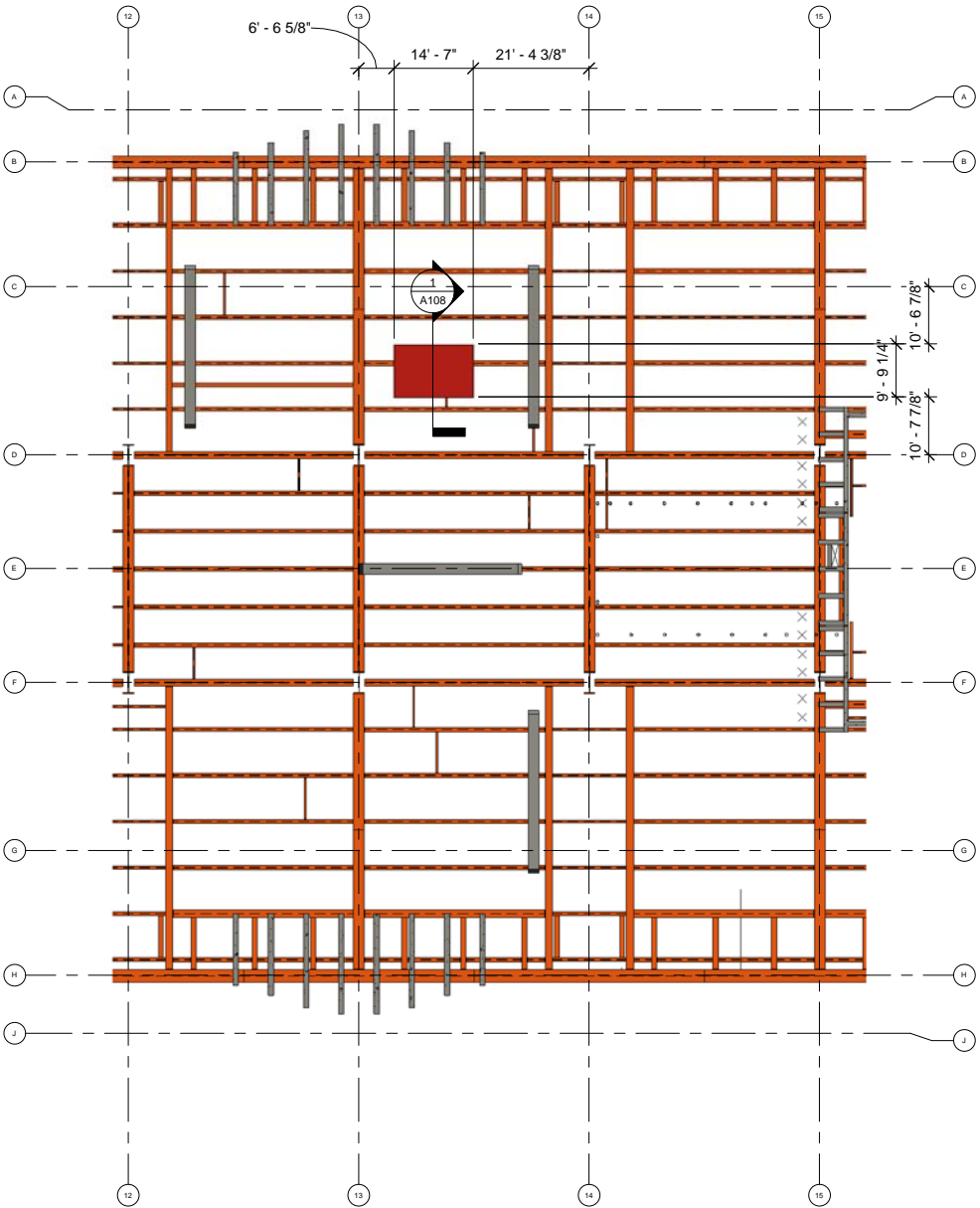
SHEET TITLE
Personnel and Material Hoist #2 Location

A108

Scale AS SHOWN

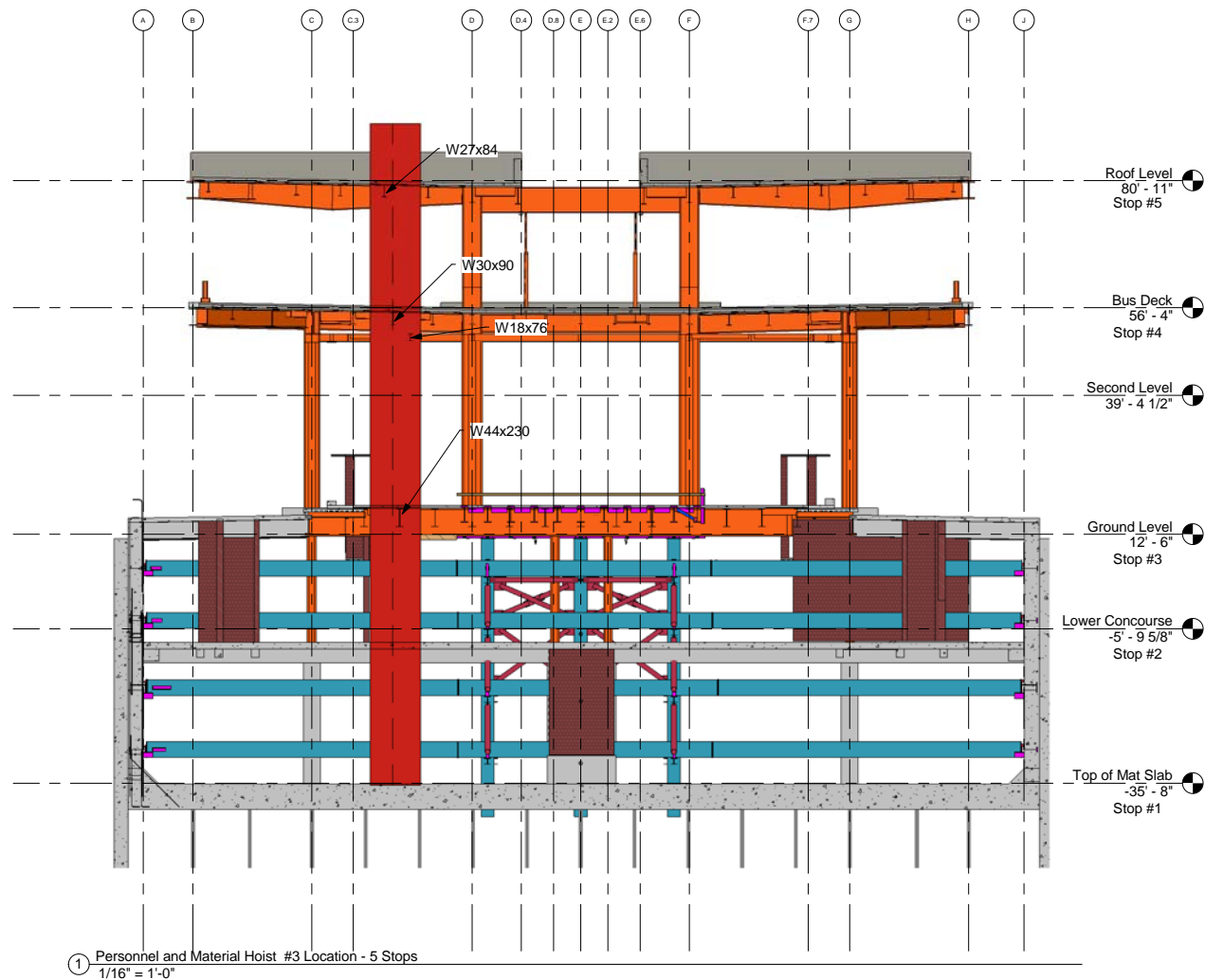


① Personnel and Material Hoist #2 Location - 6 Stops
1/16" = 1'-0"



② Personnel and Material Hoist #2 Detail - Roof Level
1/16" = 1'-0"

NOTE:
The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.
The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.

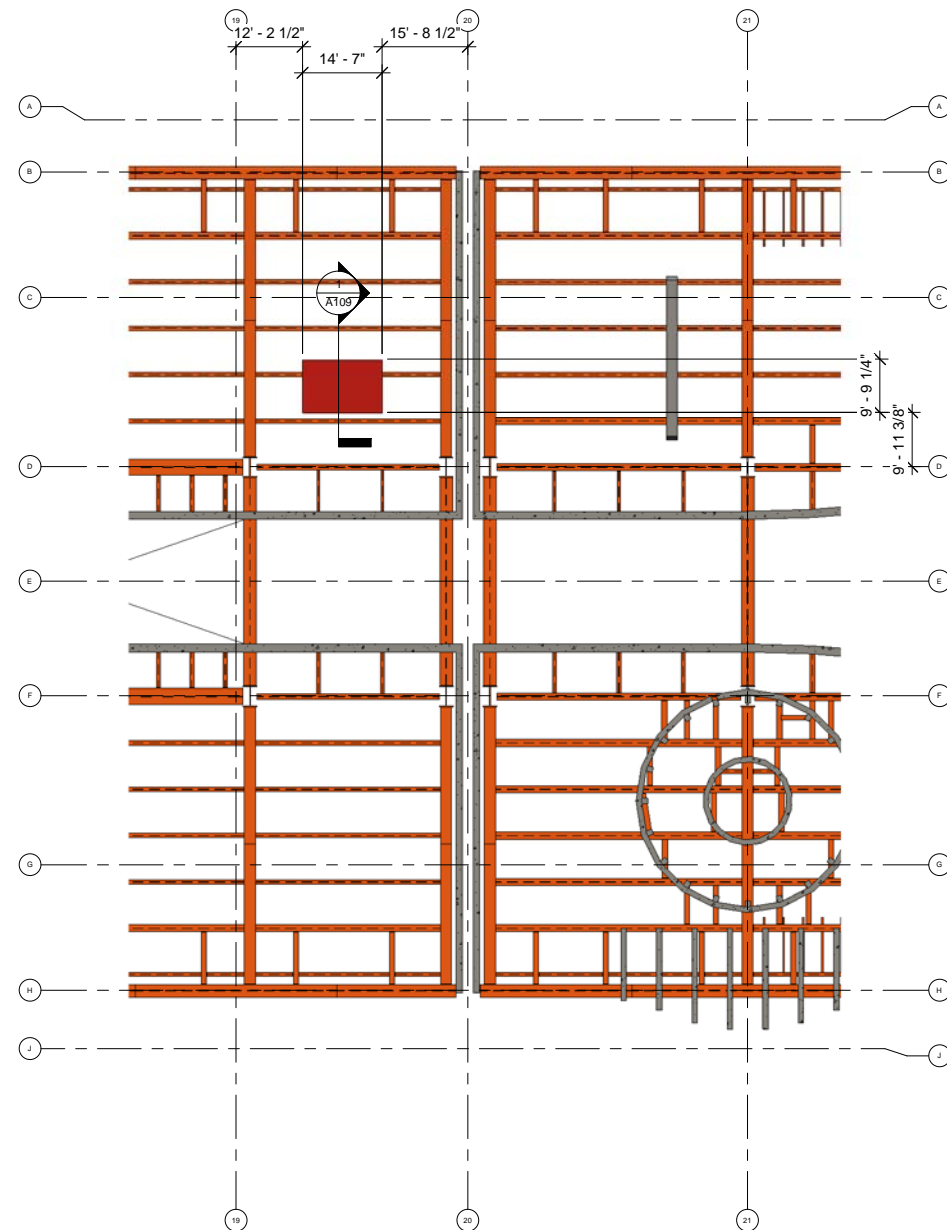


① Personnel and Material Hoist #3 Location - 5 Stops
1/16" = 1'-0"

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



② Personnel and Material Hoist #3 Detail - Roof Level
1/16" = 1'-0"



175 Beale Street
San Francisco, CA

Transbay Transit Center

San Francisco, CA

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SHEET TITLE

Personnel
and Material
Hoist #3
Location

A109

Scale AS SHOWN



175 Beale Street
San Francisco, CA

Transbay Transit Center
San Francisco, CA

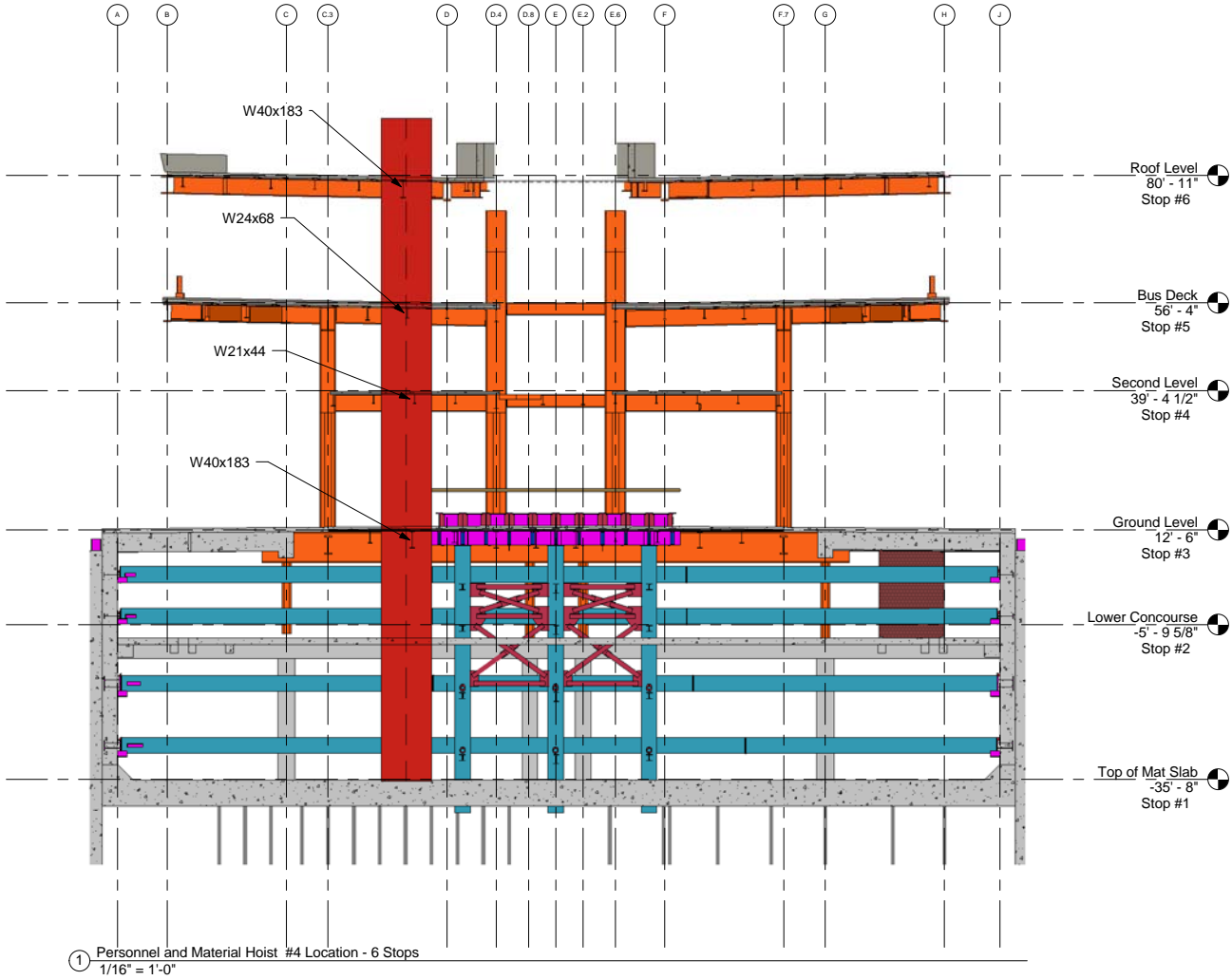
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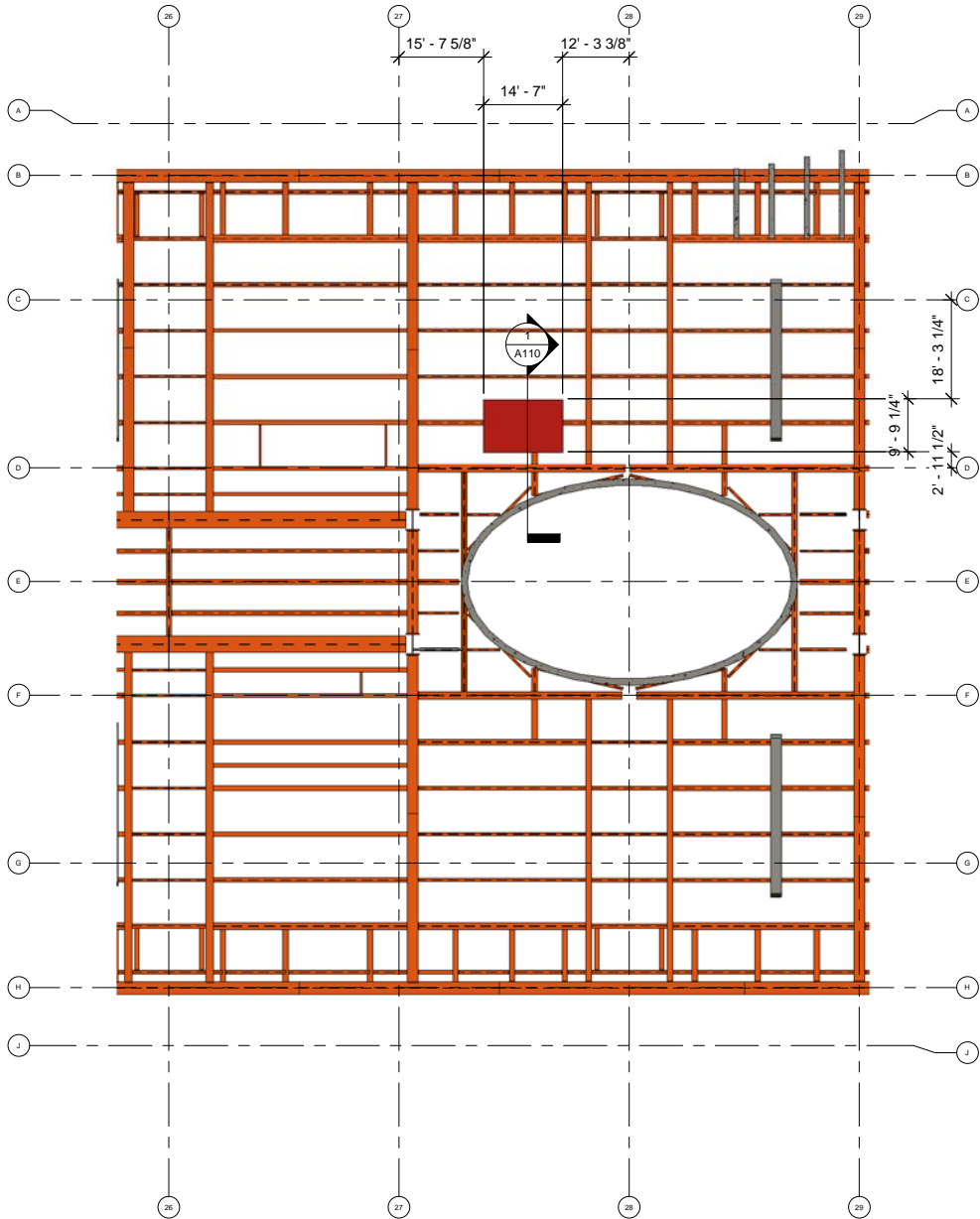
SHEET TITLE
Personnel and Material Hoist #4 Location

A110

Scale AS SHOWN

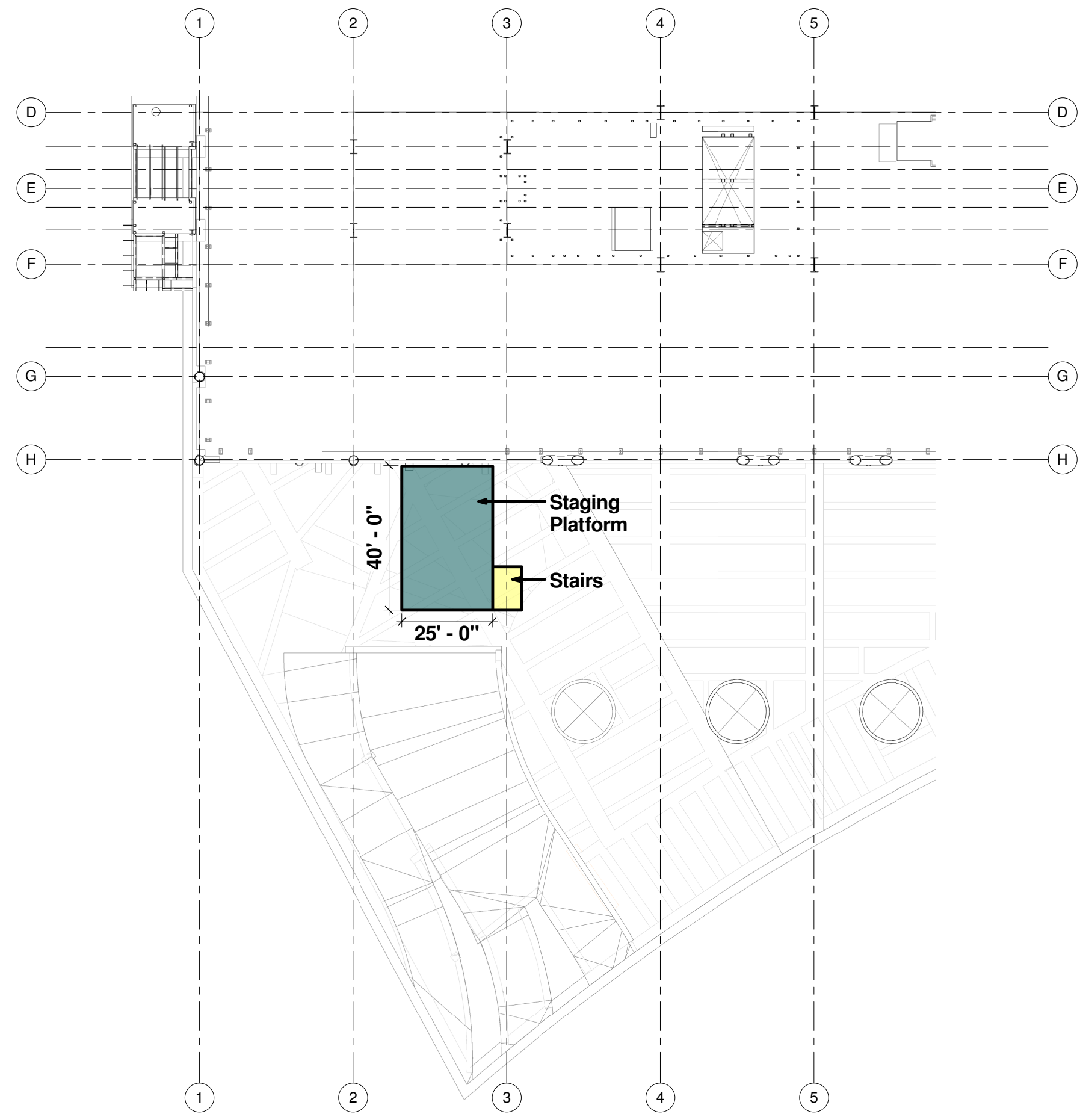


① Personnel and Material Hoist #4 Location - 6 Stops
1/16" = 1'-0"



② Personnel and Material Hoist #4 Detail - Roof Level
1/16" = 1'-0"

NOTE:
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The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.





JOINT VENTURE

207 King Street, Suite 300
San Francisco, California 94107

Transbay Transit Center

San Francisco, California

	02/15/2013	
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SHEET TITLE

Staging Platform