EXHIBIT A - Trade Subcontractor Bid Package Manual and Forms — Contract #301001201

A... Trade Package # TG12.1 Civil/Sitework at Grade/Ground Level Landscaping Package Addendum #1

May 6, 2015 ...A



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I. BIDDER QUALIFICATION PROCESS

If the Bidder is not previously qualified, the Bidder shall submit a Request for Qualification (RFQ) package no later than the date shown in the TG12.1 Package Timeline in Section II, "Key Dates for Bidding Process." The prequalified Trade Subcontractors/joint ventures listed below do not need to submit an RFQ package.

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Prequalified Trade Subcontractors/Joint Ventures:

- A & B Construction
- Ghilotti Bros., Inc.
- Gordon N. Ball, Inc.
- McGuire and Hester
- Proven Management, Inc.
- Ranger Pipelines, Inc.
- Shimmick Construction Company, Inc.

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Notification of the qualification will be provided to the Bidder by the date shown in the TG12.1 Package Timeline. Bids submitted by non-qualified Bidders will not be accepted or opened. Non-qualified Bidders assume all risk and costs associated with submitting a bid if they are deemed not qualified.

Trade Subcontractors submitting an RFQ package during the bid period must use the "Request for Qualifications (RFQ) TG12.1: Civil/Sitework at Grade" form available on the TJPA website (http://transbaycenter.org/rfp/civil-sitework-at-grade).

<u>No Conflict of Interest</u>: Webcor/Obayashi Joint Venture and the TJPA shall disqualify any Bidder that has a conflict of interest under Section C8.105 of the San Francisco Charter, Government Code Section 1090 *et. seq.*, the Political Reform Act (Government Code Section 87100 *et. seq.*), or any other applicable conflict of interest laws. Any false, incomplete, or otherwise unresponsive statements made in connection with a proposal may be cause for its disqualification at Webcor/Obayashi Joint Venture and the TJPA's sole discretion.

END OF BIDDER QUALIFICATION PROCESS

II. KEY DATES FOR BIDDING PROCESS

Each Bidder shall submit its "Bid Form," "Schedule of Bid Prices," and other applicable sections and forms in the Specifications and the Project Bidding Manual. Required submittal documents for the bid are listed in the Bidding Checklist (BCL) in the Project Bidding Manual.

<u>Package Issuance</u>: The Bid Package, except the drawings and specifications, will be available for download from the TJPA website http://transbaycenter.org/tjpa/doing-business-with-the-tjpa or by contacting Webcor/Obayashi Joint Venture by e-mail at TransbayBidding_TG12.1@webcor-obayashi.com. Information regarding how to obtain the drawings and specifications will be posted on the TJPA website with the IFB package on the Bid Package Issuance date.

<u>Pre-Bid Conference</u>: A pre-bid conference and job walk for Trade Subcontractors interested in submitting bids will be held at the time and date shown in the TG12.1 Package Timeline below, in Conference Room Charlie at the Webcor/Obayashi Joint Venture Office at 175 Beale Street, San Francisco, California 94105. Attendance is optional, but highly encouraged.

<u>Questions/Clarifications</u>: Questions or requests for clarifications regarding the Bid Package <u>must be</u> submitted in writing to Webcor/Obayashi Joint Venture no later than the time on the date shown in the TG12.1 Package Timeline below. Questions on Bid Documents (QBD) form in the Project Bidding Manual shall be used for questions or requests for clarifications. Refer to "Communication with Webcor/Obayashi Joint Venture" for contact information.

<u>Value Engineering (VE) Proposals</u>: Each Bidder may submit Value Engineering (VE) Proposals as deductive alternates to their Bid to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG12.1 Package Timeline below. The VE Proposals shall consist of two parts, technical and cost, and must be submitted in a sealed envelope. No proposals will be accepted after the due date and time. Refer to Specification Section 00 04 20 for details. The VE Proposal submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind the Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Bid Submittal: Each Bidder shall submit sealed bids to the TJPA offices at 201 Mission Street, Suite 2100, San Francisco, CA, 94105 by the time and date shown in the TG12.1 Package Timeline below. No bids will be accepted after the due date and time. Bid submissions must be signed under penalty of perjury in the manner designated at the end of the form, by an individual who has the legal authority to bind Bidder on whose behalf that person is signing. If any information provided by a Bidder becomes inaccurate, Bidder must immediately notify Webcor/Obayashi Joint Venture and provide updated accurate information in writing, under penalty of perjury.

Sensitive Security Information/Protected Critical Infrastructure Information: Contract Documents and reference documents for the Transbay Transit Center Project may contain protected information pertaining to sensitive, financial, commercial, or proprietary business information and/or the security of the Project. Such protected information is classified as Confidential Information, Sensitive Security Information (SSI), or Protected Critical Infrastructure Information (PCII). Bidders and Trade Subcontractors shall follow the procedures for the safeguarding of protected information specified in Specification Section 01 35 70, Document Control Procedure for Protected Information.

If it is necessary to discuss Confidential Information, SSI or PCII during the Pre-Bid Conference for this Trade Package, all attendees will be required to have been granted conditional access to the associated documents. In order to be granted conditional access, all attendees must have submitted a signed Non-Disclosure Agreement (NDA) to the TJPA, and been approved prior to the Pre-Bid Conference.

<u>Financial Responsibility</u>: Webcor/Obayashi Joint Venture and the TJPA accept no financial responsibility for any costs incurred by a firm in responding to this Bid Package. Submissions to Webcor/Obayashi Joint Venture will become the property of the TJPA and may be used by the TJPA in any way deemed appropriate.

<u>No Waiver</u>: No waiver by Webcor/Obayashi Joint Venture and the TJPA of any provision of this Bid Package shall be implied from any failure by Webcor/Obayashi Joint Venture and the TJPA to recognize or take action on account of any failure by a Bidder to observe any provision of this Bid Package.

No Representations or Warranties: The information presented in this Bid Package and in any report or other information provided by Webcor/Obayashi Joint Venture and the TJPA to Bidders is provided solely for their convenience. It is the sole responsibility of Bidders to assure themselves that the information contained in this Bid Package and other documents are accurate and complete. No representations, assurances or warranties pertaining to the accuracy of such information are or will be provided by the TJPA or its advisors.

Package Timeline:

Bid Package Issued: March 24, 2015

Pre-Bid Conference: April 14, 2015 (2:00 p.m.)

Qualifications Due (for non-pregualified): April 14, 2015 (2:00 p.m.)

Notification of Qualification (for non-prequalified): April 21, 2015

Questions/Clarifications (QBD) Due: April 23 May 19, 2015 (2:00 p.m.)

Pre-bid Request for Substitution Due: April 23 May 19, 2015 (2:00 p.m.)

Value Engineering (VE) Proposals Due: May 13 26, 2015 (2:00 p.m.)

VE Proposals Review: May 13 **26** – **June 9**, 2015

Bids Due: May 27 June 9, 2015 (2:00 p.m.)

Public Bid Opening: May 27 June 9, 2015 (2:00 p.m.)

Protest Period Ends: June 3 16, 2015 (5:00 p.m.)

Notification of Intention to Award Contract: June 4 17, 2015

TJPA Board Vote to Approve the Contract Award: June 11 June 19, 2015

END OF KEY DATES FOR BIDDING PROCESS

III. COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

At no time during the bid process (defined as the time between issuance of this IFB until issuance of the Notice of Intent to Award Contract) shall Bidders contact any person(s) or staff of the TJPA, TJPA Program Management/Program Controls (PMPC) team, Webcor/Obayashi Joint Venture, CM Oversight (CMO), or other TJPA Consultants regarding this IFB. The only contact is for submission of questions using the contact directions below.

Submit questions using the Question on Bid Documents (QBD) form through Webcor/Obayashi Joint Venture. See the Project Bidding Manual for QBD form.

E-mail the completed QBD form to Webcor/Obayashi Joint Venture at TransbayBidding_TG12.1@webcor-obayashi.com.

END OF COMMUNICATION WITH WEBCOR/OBAYASHI JOINT VENTURE

IV. SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

TG12.1 Civil/Sitework at Grade/Ground Level Landscaping:

1. Package Scope Summary

The scope of work for the TG12.1 Civil/Sitework at Grade/Ground Level Landscaping is described in the Contract Documents. Scope of work includes all labor, materials, equipment, tools, transportation, disposal fees, incidentals and any other costs/fees necessary to complete the work in accordance with the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the Bid.

The major items of work for this Trade Package will consist of the following elements:

- Demolition of roadways and curbs; relocation of catch basins, pull boxes and street lights
- Shoring, excavation, cutting, removal, and disposal of 3600 linear feet of CDSM shoring wall and soldier beams to a depth of approximately six (6) feet and import backfill standards
- Selective excavation, for installation/connections of new elements within the project site
- Backfill and compaction of all excavated areas in accordance with specifications
- Infill and compaction including road base, asphalt and striping, for First, Fremont, and Beale Street overcrossings
- Ground Level Planters, Irrigation & Planting
- Area Trench Drains
- Shaw Alley Art Installation
- City sidewalks, curbs, tactile indicators, driveways, catch basins, and manholes
- Asphalt and concrete street paying, including signal plates and temporary traffic striping
- Street level light poles and lights, controllers, and cabinets
- Traffic and pedestrian signals, controllers, and cabinets
- Site and reinforced concrete, including all reinforcing bars
- Geosynthetic fill, formwork, rebar and topping slabs for vehicle and pedestrian paving
- Installation of trench drains, provided by others
- Removal of Temporary Bridges at First, Fremont, and Beale Streets
- Interface with building Access Control System and Unified Security Platform

The Estimated Value of this Trade Package is approximately \$19.7 million.

This Trade Subcontractor is required to review the Contract Documents and be familiar with existing Site Conditions in accordance with all requirements set forth in the Prime Contract with respect to its scope of work (see Specification Section 00 07 00 – General Conditions, Article 3.03). This shall include, without limitation, the obligation to carefully review the appropriate portions of the Contract Documents a minimum of 35 days in advance of the work to be executed for the express purpose of checking for any manifest errors, omissions, discrepancies or ambiguities and notifying Webcor/Obayashi Joint Venture in writing promptly within this time period upon discovery of errors, omissions, discrepancies or ambiguities so that Webcor/Obayashi Joint Venture can properly notify the TJPA within the time period prescribed in Specification Section 00 07 00 – General Conditions, Article 3.03.C.

In addition, if this Trade Subcontractor performs work that it knows, or reasonably should have known, to be contrary to the Building Code or other applicable laws, statutes, ordinances, rules and regulations without written notice to Webcor/Obayashi Joint Venture, this Trade Subcontractor shall assume

responsibility for such work and shall bear all costs of correction (see Specification Section 00 07 00 – General Conditions, Article 3.08.E).

2. **General Work**

The following items for this package are discussed in detail in the Project Bidding Manual. Additional requirements and/or clarifications that are specific to the current Trade Package are included below and align, as indicated, with the corresponding section of the Project Bidding Manual.

III. Instructions to Bidders

E. Additional Bidding Notes

- 2. Exclusions/Clarifications/Qualifications
 - a) Do not include in Bid Price:
 - 1. Project ID Signs called for in Specification Section 01 15 01.
 - 2. Steel plates shown where insufficient coverage exists; provided by TG07.3.
 - 3. Below Ground Level Bike Ramp, Vehicle Ramp & Topping Slab within the CDSM wall

IV. Trade Subcontractor Requirements

A. General Information – Supplemental Instructions

- 7. Inspections and Testing
 - g) Provide onsite testing in accordance with Specification Section 03 33 13, 2.C
 - h) TJPA Representative's storage shed called for in Specification Section 01 15 90, 1.3.

34. Submittals

This Trade Subcontractor shall be required to attend two additional Submittal preparation and review meetings. The intent of these meetings is for the TJPA design team to provide additional assistance to this Trade Subcontractor at the beginning of this bid package's submittal development. This instruction does not relieve the selected Trade Subcontractor from full compliance with the requirements of the Contract Documents.

First preliminary meeting – Pre-Preparatory # 1:

This meeting will be scheduled after Notice of Award is issued and after this Trade Subcontractor has started the submittal development. The purpose of this meeting is to review the design, design criteria, performance requirements, submittal schedules, applicable codes and ordinances at the time of award, and the requirements of the Authorities Having Jurisdiction (AHJ). Agenda checklist will be published within 72 hours of the meeting.

- a. Meeting shall be attended by the following (at all stages):
 - i. Owner Representatives
 - ii. Architect representatives Pelli Clarke Pelli Architects (PCPA)/Adamson Associates, Inc. (AAI)

- iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable)
- iv. This Trade Subcontractor's Project Manager and Engineer of Record (if applicable)
- v. Webcor/Obayashi Joint Venture Representatives
- b. Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.

Second preliminary meeting – Pre-Preparatory # 2:

This meeting will be scheduled at 95% progress of the submittal for this Trade Package. The purpose is to allow this Trade Subcontractor and its Engineer of Record to present the submission and demonstrate they have complied with the contract requirements prior to final submission to TJPA for review and action.

- a. Meeting shall be attended by the following (at all stages):
 - i. Owner Representatives
 - ii. Architect representatives PCPA/AAI
 - iii. Structural, Mechanical, Plumbing, Electrical and Fire Protection Engineers (if applicable)
 - iv. This Trade Subcontractor's Project Manager and Engineer of Record (if applicable)
 - v. Webcor/Obayashi Joint Venture Representatives
- b. Minutes shall be published by Webcor/Obayashi Joint Venture's QC Manager and issued to the team within 48 hours.
- **D.** Small Business Enterprise (SBE) Program

The SBE utilization goal for this Trade Subcontractor is 10% of the total value of this Trade Subcontractor's bid value.

3. Base Bid Item Scope

Civil/Sitework at Grade/Ground Level Landscaping Package Scope of Work

This section is supplemental information only to the Contract Documents used to describe how the bid pricing is to be broken down and to generally describe the scope of the work defined in the Contract Documents. All necessary work from mobilization to handover to the next Trade Subcontractor shall be included in the bid items.

The amount paid for all of the items below shall include full compensation for furnishing all labor, materials, equipment, installation, welding, tools, transportation, disposal fees, incidentals, all patch work including multiple mobilization/demobilizations as required, and any other costs/fees necessary to complete this work.

Primary Specifications

- 01 53 13 Temporary Bridges
- 03 30 10 Cast-in-place Concrete Utility Work
- 03 33 13 Shaw Alley Art Installation Paving
- 03 40 10 Precast Concrete Utilities Work
- 07 92 14 Site Sealants

<u>A...</u> Exhibit A – TG12.1

Revised and Reissued for Addendum #1

- 07 95 13 Expansion Joints
- 12 93 40 Shaw Alley Site Art Installation
- 32 11 16 Subbase Course
- 32 11 36 Concrete Base Course
- 32 12 16 Asphalt Paving
- 32 12 17 Pavement Restoration
- 32 12 18 Street Excavation and Restoration
- 32 15 00 Aggregate Surfacing
- 32 16 13 Cast-in-Place Concrete for Civil Works
- 32 17 22 Temporary Pavement Markings
- 32 17 23 Pavement Markings and Striping
- 32 17 24 Pavement Markings
- 32 17 25 Detectable Warning Paving
- 32 17 26 Tactile Warning Surfacing
- 32 34 10 Geosynthetic Fill
- 32 84 00 Planting Irrigation
- 32 91 30 Planting Area Finish Grading
- 32 93 00 Planting Materials
- 33 05 13 Combined Utility Sewerage Manholes
- 33 11 00 Water Utilities Distribution Piping and Valves
- 33 31 00 Sanitary Utility Sewerage Piping
- 33 31 10 Sewer and Storm Systems Piping and Structures
- 33 33 16 Combined Utility Sewerage Piping
- 33 33 18 Combined Utility Joints
- 33 41 00 Storm Utility Drainage Piping
- 33 44 13 Storm Utility Area Drains
- 33 44 16 Storm Utility Trench Drains
- 33 71 17 Temporary Pole
- 33 79 00 Grounding
- 34 41 13 Traffic Signals, Controller, and Cabinet

The listing of the Specification Sections above does not limit Trade Subcontractor's obligations to only those sections, and this Trade Subcontractor is responsible for all requirements included in and reasonably inferable from the Contract Documents.

Civil/Sitework at Grade/Ground Level Landscaping Package Scope of Work

The TG12.1 Trade Package includes scope of work as specified in many Divisions of the Project Specifications, and all other associated, reports, and drawings as directed within the Contract Documents. Any/All specified calculations and design requirements and coordinated construction drawings shall conform to all applicable codes and governing authorities and, where specified, be prepared and signed by a competent California Registered Professional Engineer. The work within this Trade Package is limited to the Ground Level only; similar scope of work above or below the ground level is not to be included, unless specifically stated to be included in the scope of work.

Roadways, Curbs and Site ADA

1. This Trade Subcontractor shall remove and properly dispose of sections of existing roadway, curbs, and gutters completely as shown in Ground Level Contract Documents taking

- precautionary measures to ensure that all underground utilities have been properly identified prior to removal operations.
- 2. Provide all flagging and traffic control for all work affecting roadways; pedestrian and vehicular traffic in public areas must be maintained at all times.
- 3. Include all site precast catch basins as shown.
- 4. Furnish and install all concrete curbs, all gutters including valley gutters, and driveway entrances, including, but not limited to, installation of ADA-compliant tactile warning strips, ramps, slopes, and curbs as shown in the Contract Documents.
- 5. Include the cost to protect all existing utilities and structures; include cost for utility scanner and/or locator for the work of this Trade Subcontractor.
- 6. Include all cost for dust control, washouts, and vehicle tire washing to prevent debris from entering the public roadways.
- 7. Include any Best Management Practices as required to prevent dirty storm water from entering the storm drain systems.
- 8. Include any/all trench plates for safety, and to keep all access roads and pathways open at all times; coordination with other trade subcontractors is necessary for scheduled deliveries.
- 9. Ensure all sleeves and/or utilities are installed prior to paving.
- 10. Include all painting of curbs and other identifying markings as shown in the Ground Level Contract Documents.
- 11. Construct new roadway sections at Minna, Natoma, First, Fremont, and Beale Streets including all import/export road base, concrete paving, asphalt paving, curbs, gutters, and temporary traffic striping. Construct ADA ramps and transitions including offsite walkways, driveway cutouts, valley gutters, etc. as shown in the Contract Documents.
- 12. This Trade Subcontractor shall anticipate installing a single lift, or base coat, of asphalt at Minna, First, Fremont, Beale and Natoma Streets that will be used by other trade subcontractors for access during the project. This Trade Subcontractor shall include cost of temporary striping and comeback work to clean, prime, and install final lift of asphalt including striping near the end of the project as directed by Webcor/Obayashi Joint Venture.
- 13. Provide all fill, Geosynthetic fill, concrete paving, curbs, gutters, and ADA transitions at Bus Plaza, as well as the adjacent offsite walkways as shown in the Contract Documents.
- 14. Coordinate and work with jurisdictional Agencies for the Water, Sanitary Sewer, and Storm Water connections, or ties. This includes, but is not limited to, any/all selective excavation, soils import/export (if required), trenching, backfilling, signal lights, poles, curbs, gutters, and catch basin installation and/or relocation with connections to or extensions from, within the roadway paving.
- 15. Furnish and install all smooth dowels for control/contraction, and expansion joints as shown in concrete paving, curbs, and gutters details in the Contract Documents.
- 16. Any work that requires closing of public streets or disruption to public utilities will require this Trade Subcontractor to develop and submit for approval a Method of Procedure (MOP) pursuant to Specification Section 01 10 42; a formal presentation may be required prior to beginning any work at these locations.

Street Lights and Signals

1. Provide and install all street lighting, signal equipment, panels, signal controllers, APS units, cabinets, cabinet base foundations, poles, etc. All poles and equipment will be brand new; no used equipment will be allowed. Construct new sidewalks beneath any pole, panel or device. Should devices require step-down transformers from line to low voltage, they shall be furnished and installed by this Trade Subcontractor. The TG10.4 Electrical Trade Subcontractor will only provide line voltage to step-down transformers.

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- 2. All line voltage to signal equipment, panels, controllers, and devices shall be performed by the TG10.4 Electrical, Communications, Security, and Integrated Networks Trade Subcontractor under coordination and supervision of this Trade Subcontractor.
- 3. All required low voltage (24v or less) conduit, low voltage system wiring and terminations shall be by this Trade Subcontractor.
- 4. Traffic signals should be planned with at least 3 separate mobilizations. Coordination of the schedule with City SFMTA/MUNI may require traffic signals/striping to be executed as each street (First, Fremont, and Beale) is completed.
- 5. Traffic signals and street lighting should be coordinated with OCS System pole foundations and OCS poles with streetlight arms.
- 6. As required, this Trade Subcontractor shall directly assist the TG10.4 Electrical, Communications, Security, and Integrated Networks Trade Subcontractor with Life/Safety System interfaces, including, but not limited to, providing all necessary product data, wiring diagrams, and installation coordination for complete and fully functioning Life/Safety traffic signal interface systems.
- 7. This Trade Subcontractor to participate in all coordination meetings necessary to complete power and low voltage connections required for this scope of work.
- 8. Assume a value of 3% of base furnish and installation for "Street Lights & Signals" to comply with note #8 on Civil Drawings (example C1-8003*). Man hours and material are to be tracked on tags, and verified by Webcor/Obayashi Joint Venture on a daily basis. Overhead and profit for this is to be included in the base bid cost, and as such will not be included in the Traffic Signal Poles, Lights, Controllers, and Communication line item. After all work has been accepted by the TJPA, any remaining funds will be deducted from the final contract value in accordance with Specification Section 00 07 00. If Signal Poles, Lights, Controllers, and Communication coordination values exceed 3% of the base furnish and install value, additive change orders will be tracked at the same rates as the base contract restoration. Overhead and profit in accordance with the Contract Documents may be charged on Signal Poles, Lights, Controllers, and Communication values above and beyond 3% of the base furnish and install value.

CDSM Shoring Cutoff and Disposal

- 1. Include cost provisions to remove and relocate all K-Rail/Perimeter fencing into a storage area as designated by the TJPA; distance not to exceed 20-mile radius from the First Street Bridge.
- 2. Include cost to install and maintain screened temporary construction fencing and gates for project perimeter once K-Rail has been removed to allow the installation of site work; this temporary fencing shall be removed by this Trade Subcontractor near the end of the project.
- 3. This Trade Subcontractor will perform selective excavation and cutting to remove all existing CDSM shoring; temporarily stabilizing shoring on Minna, Natoma, etc. will be required for excavation, cutting, removal, and disposal of 3600 linear feet of CDSM shoring wall and soldier beams, CDSM material to a depth of approximately six (6) feet, and import backfill and compact to City standard specifications or approximately 2400 cubic yards of imported fill.
- 4. This Trade Subcontractor will be taking precautionary measures to protect the waterproofing. Any damage caused by this operation will require repair by the Waterproofing Trade Subcontractor that installed the original work (Best Contracting Services @ 510-886-7240 or www.bestcontracting.com) at the expense of this Trade Subcontractor.
- 5. CDSM piles shall be removed and disposed of properly with backfill, compaction, and import of soils as necessary, including fine grading. Scoping documents (see Section VIII. Supplemental Documents List) provide a narrative with possible means and methods; however, it is up to this Trade Subcontractor to establish the sequencing, coordination, and execution.

- 6. CDSM pile removal shall be coordinated with the TG10.4 Electrical, Communications, Security and Integrated Networks Trade Subcontractor to allow installation of the PG&E main power duct along Minna and Natoma Streets, and across First and Fremont Street Bridges.
- 7. This Trade Subcontractor shall coordinate and provide <u>ALL</u> excavation, shoring, and trench plates as necessary per CalOSHA to facilitate the installation of the PG&E duct (including deepened excavation for connection to the building; see sheets ES-2007* ES-2112*).
- 8. This Trade Subcontractor shall provide all backfill, compaction, and fine grading per the Exhibit I Schedule.
- 9. This Trade Subcontractor shall anticipate that the work needed to facilitate with the TG10.4 Electrical, Communications, Security, and Integrated Networks Trade Subcontractor for installation of SFPUC will occur during night shift. The Traffic Control, permits, submittals, and flagging for this portion of work is by the TG10.4 Electrical, Communications, Security, and Integrated Networks Trade Subcontractor.
- 10. Installation of the 12Kv line at First and Fremont Streets will be coordinated and scheduled to occur during the removal of the Temporary Bridges.

Site Work Concrete and Paving

- 1. This Trade Subcontractor shall be responsible for installation of all fill materials as shown in the Architectural, Civil and Landscaping Drawings (reference sheet A1-6014* for example) to complete the street overcrossings; sectional build-out shall be coordinated with the TG10.4 Electrical, Communications, Security, and Integrated Networks Trade Subcontractor in conjunction with the scheduling of the removal of the Temporary Bridges.
- 2. Include provisions for comeback work to remove the temporary asphalt, fine grading, and installation of concrete paving post temporary bridge removal per the scoping documents.
- 3. Excavate, fabricate, form, place and finish all site concrete as indicated on the scoping documents (example C1-5005*); coordinate with the TG18.1 Bus Ramps Trade Subcontractor for work in and around the bridge pylon.
- 4. All shoring of existing soils as necessary is to be included in this Trade Subcontractor's work for excavation required for stairway 901 and the concrete vault for site concrete.
- 5. All backfill and compaction, including fine grade for site concrete is to be included.
- 6. Furnish and install movement joints, light pole foundations, precast communication vault, vehicle inspection blockout, etc., including coordination and provisions for the retractable bollards installed by the TG07.9 Bollards and Barriers Trade Subcontractor.
- 7. Provide <u>ALL</u> excavation, backfill and compaction for retractable bollards that lie within the civil/sitework outside of the structural trainbox lid. The retractable bollards are installed by the TG07.9 Bollards and Barriers Trade Subcontractor (reference sheet C1-6008* for example).

Miscellaneous Instructions & Comments

- 1. Provide full coordination with other trade subcontractors to ensure adequate pipe clearances are maintained.
- 2. Include coordination with the TG18.1 Bus Ramps Trade Subcontractor for scheduling/ coordination of the underground vaults and stairway near the ramps at grade (this work will occur after the falsework has been removed).
- 3. Include all layout and survey for this scope of work; there will be a survey benchmark provided for this Trade Subcontractor to work from; include maintenance of all existing survey monuments within this scope of work.

- Civil/Sitework at Grade/Ground Level Landscaping
 - 4. Include all costs for maintaining the streets clean of debris generated by the work of this Trade Subcontractor; provide covers for all relocated or newly installed catch basins for compliance with SWPPP.
 - 5. Include all potholing as required to identify existing utilities and/or connections prior to excavation.
 - 6. Verify existing invert elevations before starting this scope of work; notify Webcor/Obayashi Joint Venture of any discrepancies.
 - 7. Thoroughly clean all manholes, catch basins, curb inlets, etc., whether new or existing within the work area of this Trade Subcontractor, by means of vacuum truck, or equal.
 - 8. This Trade Subcontractor must coordinate all work with the Salesforce Tower, 181 Fremont, and other projects that are adjacent to the scope of this Trade Subcontractor.
 - 9. Furnish, coordinate, and install all bracing, vibration isolation, embeds, inserts, saddles, struts, rods, angle iron, and any other supporting elements required for this scope of work, including, but not limited to, light poles, signal poles, miscellaneous angle iron frames within paving, utility vault concrete filled lids, etc.
 - 10. Include all provisions for fine grading, import/export as needed to achieve required grading for site paving as indicated in the Contract Documents.
 - 11. Include all Warranties (i.e., specialty warranties, extended warranties, Manufacturer input, parts and labor requirements, etc.).
 - 12. In addition to specified requirements, all equipment, device, and material warranty coverage shall accommodate and include all extended time from system start-up and commissioning to final TJPA acceptance/TCO.
 - 13. Technical support and durations are to be provided from both Trade Subcontractor and Manufacturer.
 - 14. Provide all project Close Out requirements (i.e., training, manufacturer requirements, etc.)
 - 15. Pay close attention to Commissioning for both LEED and Non-LEED requirements.

Landscaping and Architectural Paving

- 1. Layout, fabricate, form, place and finish concrete footings for planters, including rebar (reference detail sheet 1/L1-7303* for example).
- 2. Furnish and install precast planters; waterproofing will be installed by the TG13.2 Roofing/Waterproofing Trade Subcontractor. If this Trade Subcontractor damages the waterproofing it will be repaired by TG13.2 Roofing/Waterproofing Trade Subcontractor and paid for by this Trade Subcontractor.
- 3. Furnish and install all conduit for irrigation control wires that pass under or through paving, curbs, walls or structures at the Ground Level.
- 4. Furnish and install area drains (trench drain) (reference detail sheet L1-2302* for example).
- 5. Furnish and install irrigation supply lines, master control valves, and rain sensor interrupt device, including drip lines and flush valves for a complete assembly of all Ground Level landscaping areas (reference detail sheet L1-3302* for example).
- 6. Furnish and install drainage piping as indicated for all Ground Level landscaping outside train box. Include cleanouts and catch basins as shown from the inside of the back of curb (reference detail sheet L1-6322* for example).
- 7. Furnish and install sand drainage layer, organic subsoil mixture, planting bed, and root ball(s) as indicated in the Contract Drawings (reference detail sheet L1-7302* for example).
- 8. Provide protection for all of this Trade Subcontractor's work until final acceptance by the TJPA.
- 9. Install all area trench drain assemblies, as indicated in the Contract Drawings, at locations identified by the scoping documents.

- 10. If trench drain assembly is not clearly specified as to type or model, include all cost to accommodate assembly for the condition shown.
- 11. Include necessary provisions for protection of any existing surfaces, wherein this Trade Subcontractor's work touches others, including, but not limited to, all finished work installed by this Trade Subcontractor. Include provisions to install a layer of non-staining protective material over all finished, colored concrete with 4' X 8' X 1/4" sheets of Masonite.
- 12. Include the taping of all joints, to prevent protection board from dislodgement due to winds; provide maintenance thereof, until TJPA acceptance.
- 13. Submit for approval all layout drawings including expansion/contraction joints as shown on the Contract Drawings for both pedestrian and vehicular topping slabs (reference sheet L1-2312* for example).
- 14. Include fabrication, delivery, and installation of miscellaneous concrete filled metal frames and vault lids within the vehicular paving, as shown.
- 15. Include all Geosynthetic fill material and/or aggregate fill as shown above the protection slabs within the limits indicated on the scoping drawings.
- 16. Provide proper curing methods indicated in the Specifications, including any/all water cure and sandblasting once the topping slabs have fully been cured; make all necessary provisions for protection of immediate area to prevent damage to or from sandblasting operations, including all necessary Bay Area Air Quality Management District (BAAQMD) requirements.
- 17. Include provisions for all mockups as required, and removal of as necessary for approval.
- 18. Interface with joint assemblies shall be fully coordinated with the TG13.2 Roofing/Waterproofing Trade Subcontractor to ensure fully sealed and watertight connections.
- 19. Furnish and install all felt expansion joints shown for site concrete, as detailed.

Temporary Bridge Removal

- 1. This Trade Subcontractor shall remove and dispose of Temporary Bridges located at First, Fremont, and Beale Streets in accordance with SFMTA traffic lane restrictions, following a sequence of operation similar to the outline provided in the scoping drawings and narrative.
- 2. Include cost to provide an additional 1,650 LF of K-Rail for a duration not exceeding 24 months; installation, relocation, and removal are to be included pursuant to the Temporary Bridge removal narrative.
- 3. This Trade Subcontractor shall include all costs for any and all design and review, engineering and calculations for modifications, additions, reinforcements, demolition and removal of the Temporary Bridges. The submittal, including all calculations, specifications, drawings and qualification documents, shall be submitted as specified in Specification Section 01 53 13. Temporary Bridge Removal submittal requirements shall be the same as those for the Internal Bracing and Temporary Bridges scope. For the design criteria for the Bridge Removal, the Contract Documents and applicable standards shall be referred to. All requirements in Specification Section 01 53 13 (Temporary Bridges) shall apply.
- 4. Include cost to hire a Professional Engineer licensed in the State of California to provide a wet stamped submittal, showing static moment conditions at the temporary bridge sections remaining in place during the removal procedure. Original engineering of Temporary Bridges was performed by PB & A, Inc. (www.pbandainc.com, 415-259-0191, 124 Greenfield Ave, San Anselmo, CA 94960).
- 5. Removal and disposal of the Temporary Bridges shall be implemented in coordination with other works as stipulated in requirements of the Contract Documents. This Trade Subcontractor shall remove/dispose of and/or recycle the entire Temporary Bridges within its contract work area, including restoration of sidewalk and driveway of 301 Mission Street (Millennium Tower) on both Fremont and Beale Street entrances. This work will be done in phases to ensure tenants can

- enter/exit the Millennium Tower at all times. This Trade Subcontractor shall coordinate the timing/phasing of the remaining portion of the Temporary Bridges with the other trade subcontractors. This work item includes, but is not limited to, cutting, welding, removal and disposal of all Temporary Bridge material. The contract amount for this item shall include full compensation for furnishing all labor, materials, equipment, tools, transportation, disposal fees, incidentals and any other costs/fees necessary to complete this work item.
- 6. This Trade Subcontractor shall submit for approval a fully coordinated de-energization verification MOP in accordance with Specification Section 01 10 42 (PG&E, SFMTA, MUNI, BLHP, etc.). This Trade Subcontractor shall submit for approval a fully coordinated complete traffic control plan indicating times and durations of lane closures per Specification Section 01 15 70. Temporary Bridge removal approval from the City (SFDPW, SFMTA, and MUNI) is required for each Street, with the assumption that the majority of work will take place during nights and weekends.
- 7. This Trade Subcontractor shall be responsible to coordinate the removal work with the TG10.4 Electrical, Communications, Security, and Integrated Networks; TG07.2 Structural Concrete Superstructure; and TG13.2 Roofing/Waterproofing Trade Subcontractors.
- 8. Provide all material, equipment, and protection shields required to protect from sparks and slag to protect workers, other work, pedestrians, vehicles, adjacent properties, or anything subject to damage.
- 9. Provide fire watch when working above or adjacent to combustible material.

Shaw Alley Art

- 1. Layout, install, and connect drainage piping as shown on detail sheet L1-7332* for Shaw Alley Art. The TG10.2 Plumbing Trade Subcontractor will supply drains in the structural concrete. TG13.2 Roofing/Waterproofing Trade Subcontractor will provide all waterproofing. The TG07.2 Structural Concrete Trade Subcontractor will install the protection slab.
- 2. Furnish and install trench drain(s) as shown at Shaw Alley Art, as indicated on detail sheet L1-7336*.
- 3. Furnish and install Geosynthetic fill over protection slab.
- 4. Form, place, and finish architectural concrete paving.
- 5. Design, fabricate, and install illuminated pavers as shown on detail sheet L1-7340*.
- 6. Provide all mockup(s) as required in specifications (note requirements for acceptance of mockup(s) by Artist).
- 7. Electrical power pathway and conductors are provided by the TG10.4 Electrical, Communications, Security and Integrated Networks Trade Subcontractor. All connections to the illuminated paving and benches are by this Trade Subcontractor. Coordinate all electrical work at Shaw Alley with the TG10.4 Electrical, Communications, Security and Integrated Networks Trade Subcontractor.
- 8. Provide all protection for the work of this Trade Subcontractor until final acceptance by the TJPA.
 - * Drawing has been included as part of the scoping documents that may not be updated to the most current set of drawings. Any drawings provided in the scoping documents are for reference only and are not to be considered part of the contract set.

Alternates

This category includes all alternates to be priced as described in Specification Section 01 10 30/APE for this trade package. Alternates listed above the "Total Base Bid Price" on the Schedule of Bid Prices are

considered "above the line" Alternates. Above the line Alternate costs will be part of the "Total Base Bid Price" and will be used as a basis of award. Alternates listed below the "Total Base Bid Price" on the Schedule of Bid Prices are considered "below the line" Alternates. Below the line Alternate costs will not be part of the "Total Base Bid Price" and will not be used as basis of award. Trade Subcontractor shall furnish a cost for all Alternates; failure to do so shall render the Bid non-responsive.

1. Below the line Alternates:

a. Additive Specification Alternate #36

Provide pricing as described in Schedule of Alternates 01 10 30/APE.

b. <u>Deductive Alternate</u>

Replace alternating color bands with single color for sidewalks at Ground level (see Scoping Drawing L1-2332 for details)

c. Additive Alternate

City standard "lamp black" Concrete for Bus Plaza Pavement (see Scoping Drawing C1-6006 for details)

END OF SCOPE OF THE PACKAGE AND BID ITEM INFORMATION

V. CONSTRUCTION SCHEDULE

Refer to Project Bidding Manual Rev. 30, Section IV.C for Construction Schedule.

END OF CONSTRUCTION SCHEDULE

VI. INSURANCE AND BONDING REQUIREMENTS

The insurance requirements outlined below supersede the related requirements in Specification Section 00 08 05 and Section 16 of the Long Form Subcontract.

1. TRADE SUBCONTRACTOR'S LIABILITY INSURANCE

This Trade Subcontractor shall maintain in full force and effect, for the period covered by the subcontract, the following liability insurance with the following minimum specified coverage or coverage as required by laws and regulations, whichever is greater:

- A. Workers' Compensation in the statutory amount, including Employers' Liability coverage with limits not less than \$1,000,000 each accident, injury, or illness, and coverage for Federal Employers Liability Act.
- B. Commercial General Liability insurance with limits not less than \$5,000,000 each occurrence combined single limit for bodily injury and property damage, including coverage for Contractual Liability, Independent Contractors, Explosion, Collapse, and Underground (XCU), Personal Injury, Broadform Property Damages, and completed operations. The required limit may be satisfied through a combination of primary commercial general liability and excess liability policies. Notwithstanding Section 16.7 of the Long Form Subcontract, the requirement to maintain \$5,000,000 in Commercial General Liability Insurance shall apply ONLY to this Trade Subcontractor. This Trade Subcontractor's subcontractors and/or lower-tier subcontractors shall maintain the levels of Commercial General Liability Insurance set forth in Section 16 of the Long Form Subcontract agreement.
- C. Commercial Automobile Liability insurance with limits not less than \$1,000,000 each occurrence combined single limit for bodily injury and property damage, including owned, hired or non-owned vehicles, as applicable.

2. ADDITIONAL COVERAGES

A. Professional Liability Insurance: In the event that this Trade Subcontractor employs professional engineer(s) or land surveyor(s) for performing Pre-Construction Services, field engineering, or preparing design calculations, plans and specifications, this Trade Subcontractor shall carry or shall require its retained engineers and land surveyors to carry professional liability insurance with limits not less than \$1,000,000 each claim with respect to acts, errors, or omissions in connection with professional services to be provided under the subcontract, with any deductible not to exceed \$250,000 each claim. With respect to land surveyors only, this Trade Subcontractor or its retained engineers should only have to evidence \$1,000,000 in professional liability insurance covering that scope of work, consistent with the standard requirements set forth in Article 16 of the Long Form Subcontract.

3. INSURANCE FOR OTHERS

For general liability and automobile liability this Trade Subcontractor shall include as additional insured the Contractor (Webcor/Obayashi Joint Venture), TJPA, its board members, and all authorized agents and representatives, and members, directors, officers, trustees, agents and employees of any of them.

4. FORMS OF POLICIES AND OTHER INSURANCE REQUIREMENTS

- A. Workers' Compensation Insurance shall be submitted to the Contractor before the commencement of any of the Work on Site.
- B. Before commencement of the work of this subcontract, certificates of insurance in form and with insurers acceptable to Contractor, evidencing all required insurance and with proper endorsements from Trade Subcontractor's insurance carrier identifying as additional insured the parties indicated under paragraph 3 above, shall be furnished to Contractor with complete copies of policies in accordance with the Project Bidding Manual.
- C. Approval of the insurance by the Contractor shall not relieve or decrease the extent to which Trade Subcontractor or subcontractors of any tier may be held responsible for payment of any and all damages resulting from its operations. All policies of insurance and certificates shall be satisfactory to Contractor.
- D. Trade Subcontractor and its subcontractors shall comply with the provisions of California Labor Code Section 3700. Prior to commencing the performance of work, Trade Subcontractor and all of its subcontractors shall submit to the Contractor a certificate of insurance evidencing liability for workers compensation or proof of self-insurance in accordance with the provisions of the California Labor Code.
- E. Liability insurance, except for professional liability insurance, shall be on an occurrence basis, and said insurance shall provide that the coverage afforded thereby shall be primary coverage (and non-contributory to any other existing valid and collectable insurance) to the full limit of liability stated in the declaration, and such insurance shall apply separately to each insured against whom claim is made or suit is brought, but the inclusion of more than one insured shall not operate to increase the insurer's limits of liability.
- F. This Trade Subcontractor shall maintain professional liability coverage continuously throughout the term of this subcontract, and without lapse, for a period three years beyond the Contract Final Completion date to the effect that should occurrences during the Contract term give rise to claims made after expiration of the Contract, such claims shall be covered by such claims-made policies.
- G. Each such policy shall provide that no cancellation or non-renewal shall occur without the carrier giving to Contractor at least 30 days written notice prior thereto.

All notices shall be made to:

Webcor / Obayashi Joint Venture

1751 Harbor Bay Parkway, Suite 200 Alameda, CA 94502

- H. This Trade Subcontractor, upon notification of receipt by Contractor of any such notice, shall provide Contractor a certificate of the required new or renewed policy at least 10 days before the effective date of such cancellation, change or expiration, with a complete copy of new or renewed policy, if requested.
- I. If, at any time during the life of this subcontract, this Trade Subcontractor fails to maintain any item of the required insurance in full force and effect, all work of this subcontract may, at Contractor's sole option, be discontinued immediately, and all subcontract payments due or that become due will be withheld until notice is received by the Contractor as provided in the immediately preceding Paragraph 4.G that such insurance has been restored to full force and effect and that the premiums thereof have been paid for a period satisfactory to the Contractor.
- J. Any failure to maintain any item of the required insurance may, at Contractor's sole option, be sufficient cause for termination for default of this subcontract.

5. QUALIFICATIONS

This Trade Subcontractor must provide coverage from insurance companies who shall be legally authorized to engage in the business of furnishing insurance in the State of California. All insurance companies shall have a current A.M. Best Rating not less than "A-, VIII" and shall be satisfactory to Contractor.

6. SUBGUARD AND BONDING

- A. This Trade Subcontractor is required to provide a Bid Bond for 5% of the total contract value.
- B. This Trade Subcontractor is not required to provide a Payment and Performance Bond. Subguard will be used in lieu of a Payment and Performance Bond.
- C. This Trade Subcontractor shall provide all documentation required by Subguard Surety to verify qualification for program.

END OF INSURANCE REQUIREMENTS

VII. CONTRACT DOCUMENT LIST

The Contract Documents for this Trade Package include the following:

Document Description Revision Name Issue Date Name Long Form Rev. 0 2015-03-24 Subcontract Specification Division 00 and Division 01 defined in Specification Division 00 and 2015-02-11 Section 00 01 10 Division 01 Technical Field Order # 2014-06-19 SFPUC IFB ES Drawings **Specifications** T-00029 Technical Field Order # TG12.2 – OCS 2014-09-10 Specifications T-00033 Technical Field Order # SFPUC IFB ES Drawings Revision 1 2014-09-16 **Specifications** T-00029R1 Technical CR No. T-128 IFC Conformed Set 2014-12-16 Specifications ASI #128 Technical CR No. T-134 Main Package 2015-02-27 Specifications ASI #130 Technical CR No. T-150 **Revised Site Work and Site Drainage** 2015-04-27 **Specifications ASI #132** Field Order # 2014-06-19 **Drawings** SFPUC IFB ES Drawings T-00029 Field Order # TG12.2 – OCS Drawings 2014-09-10 T-00033 Field Order # SFPUC IFB ES Drawings Revision 1 2014-09-16 Drawings T-00029R1 CR No. T-128 IFC Conformed Set **Drawings** 2014-12-16 ASI #128 CR. No. T-130 2015-01-29 Drawings Fountain Design ASI #129 CR No. T-134 Drawings Main Package 2015-02-27 ASI #130 CR No. B-012 Drawings Link Beam Design 2015-03-04 ASI #150-006 CR No. T-150 **Drawings Revised Site Work and Site Drainage** 2015-04-27 **ASI #132** Refer to the following file sharing website: CR No. T-128 https://webcor.box.com/s/j8gp4qxnd0wcouqsvmi8hri8a 3D Models 2014-12-16 ASI #128 bjsw4e4 Password: WebcorBid! Preconstruction RFIs (P1-0001 – P1-0686) Refer to RFI's the following link: 2015-02-19 https://webcor.box.com/s/y6j9sumu82ho7n5b728i Construction RFIs (T-0001 - T-25003000) Refer to the following link: 2015-03-20 RFI's https://webcor.box.com/s/e0leg0ysnlxguen0d3e55hnop 2015-05-05

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Document Name	Description	Revision Name	Issue Date
Project Bidding Manual		Rev. 30	2015-03-13
Exhibit A	<u>Trade Subcontractor Bid Package Manual and Forms – Contract #301001201</u>	Rev. 0 A	2015-03-24 2015-05-06
Exhibit B	Warranty		2010-09
Exhibit C	Lien Releases	Rev. 07/2012	2012-08-22
Exhibit D	Sample Certificate of Insurance and Additional Insured Endorsement		
Exhibit E	LEED Subcontractor Submission Letter and Data Sheet	Rev. 3	2014-03-13
Exhibit G	Subcontractor Payment Requisition		2012-04-03
Exhibit H	Site Specific Safety Plan	Rev. 9	2014-07-10
Exhibit I	Schedule	Rev. 0	2015-03-12
Exhibit J	Contractor Quality Control Plan	Rev. 10	2013-11-04
Exhibit K	Sediment and Erosion Control Plan		2011-02
Exhibit L	Hazardous Materials Management Plan	Rev. 1	2011-03-11
Exhibit M	RFI Q&A Log		2015-03-20 2015-05-05
Exhibit N	Noise & Vibration Mitigation Management Plan	Rev. 4	2012-09-07
Exhibit O	Air Quality Management Plan	Rev. 5	2012-01-16
Exhibit P	Construction Waste Management Plan	Rev. 6	2013-11-07
Exhibit Q	Apprenticeship Program	Rev. 0	2012-03-23
Exhibit R	Survey Information	Rev. 0	2012-03-23
Exhibit S	Traffic Control Plan	Rev. 2	2012-08-22
Exhibit U	Submittal Schedule	Rev. 0	2013-11-07
Exhibit W	Waterproofing		2011-05

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END OF CONTRACT DOCUMENT LIST

VIII. SUPPLEMENTAL DOCUMENTS LIST

This Trade Subcontractor shall review all of the supplemental documents listed below, which have been determined to be related to this Trade Package scope of work, and be familiar with all conditions affecting this Trade Subcontractor's scope of work. All associated costs due to the conditions and plans of the reference documents including all coordination shall be included in the Bid Amount.

Scoping Drawings are for use in clarifying the general scope of work, but are not all inclusive of the scope described. If a conflict or omission exists within the Scoping Documents and/or the Detailed Scope of Work, the written scope shall govern.

The Supplemental Documents for TG12.1 Civil/Sitework at Grade/Ground Level Landscaping are listed below and are currently available through Webcor/Obayashi Joint Venture's FTP website:

Document Type	Document Name	Revision Date
Scoping Drawing	A1-2982 Ground Level Floor Plan Thermal Insulation Extent	09-24-2014
Scoping Drawing	A1-6014 Building Zone at Gridline C	09-24-2014
Scoping Drawing	A1-8715 West Fan Room Exhaust	09-24-2014
Scoping Drawing	C1-5005 Bike and Vehicle Ramp Detail	09-24-2014
Scoping Drawing	C1-5006 Bike and Vehicle Ramp Sections 1	09-24-2014
Scoping Drawing	C1-5007 Bike and Vehicle Ramp Sections 2	09-24-2014
Scoping Drawing	C1-5008 Bike and Vehicle Ramp Sections 3	09-24-2014
Scoping Drawing	C1-6006 Paving Plan Bus Plaza	03-20-2015
Scoping Drawing	C1-6007 Paving Plan Bike and Vehicle Ramp	09-24-2014
Scoping Drawing	ES-2107 Street Electrical Supply Conduit Plans and Sections – Minna Street 1	09-24-2014
Scoping Drawing	ES-2108 Street Electrical Supply Conduit Plans and Sections – Minna Street 2	09-24-2014
Scoping Drawing	ES-2109 Street Electrical Supply Conduit Plans and Sections – Minna Street 3	09-24-2014
Scoping Drawing	ES-2110 Street Electrical Supply Conduit Plans and Sections – Natoma Street 3	09-24-2014
Scoping Drawing	L1-2302 Ground Level Zone 02 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2303 Ground Level Zone 03 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2304 Ground Level Zone 04 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2304A Ground Level Zone 04 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2305 Ground Level Zone 05 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2305A Ground Level Zone 05 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2306 Ground Level Zone 06 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2306A Ground Level Zone 06 Material Plan Phase 1	09-24-2014
Scoping Drawing	L1-2307 Ground Level Zone 07 Layout Plan Phase 1	09-24-2014
Scoping Drawing	L1-2310 Ground Level Zone 10 Layout Plan Phase 1	09-24-2014
Scoping Drawing	L1-2312 Ground Level Zone 02 Layout Plan Phase 1	09-24-2014
Scoping Drawing	L1-2313 Ground Level Zone 03 Layout Plan Phase 1	09-24-2014

Scoping Drawing	L1-2314 Ground Level Zone 04 Layout Plan Phase 1	09-24-2014
Scoping Drawing	L1-2315 Ground Level Zone 05 Layout Plan Phase 1	09-24-2014
Scoping Drawing	L1-2330 Ground Level Material Enlargement Plan Phase 1	09-24-2014
Scoping Drawing	L1-2331 Ground Level Material Enlargement Plan Phase 1	09-24-2014
Scoping Drawing	L1-2332 Ground Level Material Enlargement Phase 1	09-24-2014
Scoping Drawing	L1-2333 Ground Level Material Enlargement Plan Phase 1	09-24-2014
Scoping Drawing	L1-7302 Ground Level Details Precast Planters	09-16-2014
Scoping Drawing	L1-7303 Ground Level Details Precast Planters	09-16-2014
Scoping Drawing	L1-7310 Ground Level Details Utility Vault Covers	09-24-2014
Scoping Drawing	L1-7315 Ground Level Details Subslab and Footings	09-24-2014
Scoping Drawing	L1-7316 Ground Level Details Subslab and Footings	09-24-2014
Scoping Drawing	L1-7317 Ground Level Details Subslab and Footings	09-24-2014
Scoping Drawing	L1-7318 Ground Level Details Subslab and Footings	09-24-2014
Scoping Drawing	L1-7319 Ground Level Details Subslab and Footings	09-24-2014
Scoping Drawing	L1-7322 Ground Level Details Concrete Paving	09-24-2014
Scoping Drawing	L1-7330 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7331 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7332 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7333 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7334 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7335 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7336 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7340 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7341 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7342 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7343 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7344 Ground Level Details Shaw Alley Art Installation	09-16-2014
Scoping Drawing	L1-7360 Ground Level Details Bollards	09-24-2014
Scoping Drawing	L1-7370 Ground Level Details Site Furnishings	09-24-2014
Scoping Drawing	L1-7380 Ground Level Details Drainage	09-24-2014
Scoping Drawing	L1-7381 Ground Level Details Drainage	09-24-2014
Scoping Drawing	L1-7382 Ground Level Details Drainage	09-24-2014
Scoping Drawing	L1-7383 Ground Level Details Drainage	09-24-2014
Scoping Drawing	L1-7384 Ground Level Details Drainage	09-24-2014
Scoping Drawing	U-0005 General Notes	09-24-2014
Scoping Drawing	U1-2001 Minna Street Utility Plan	09-24-2014
Scoping Drawing	U1-2002 Natoma Street Utility Plan	09-24-2014
Scoping Drawing	U1-2003 Fremont and Beale Utility Plan	09-24-2014
Scoping Drawing	U1-5001 Utility Details	09-24-2014
Supplemental Supplemental	·	
Document	Temporary Bridges Removal Narrative	08-18-2014
Supplemental Document	CDSM Cutoff Narrative	07-10-2014

 $\underline{A...}$ Exhibit A – TG12.1 Revised and Reissued for Addendum #1

May 6, 2015 <u>...A</u>

Supplemental Document	First St Bridge Removal	07-30-2014
Supplemental Document	TG12.1 First and Fremont Street Bridge Removal	08-18-2014

Trade Subcontractor is responsible for reviewing and coordinating its work with all supplementary information provided.

The Supplementary Documents are available for download on the following FTP website:

TG12.1 - https://webcor.box.com/s/5c51jnywq2eu5l7cx3i3

Password: WebcorBid!

END OF SUPPLEMENTAL DOCUMENTS LIST

ATTACHMENT 1 BID FORM AND SCHEDULE OF BID PRICES

TO THE TJPA EXECUTIVE DIRECTOR

In response to the Advertisement for Bids for the following public work:

TG12.1 - Civil/Sitework at Grade/Ground Level Landscaping

The undersigned Bidder hereby proposes and agrees to execute the required contract, shall it be awarded to said Bidder, and to do all the work and furnish all the materials therefor, all in accordance with the Specifications and Drawings referred to in said Advertisement for Bids and at the prices named in the attached Schedule of Bid Prices.

The undersigned declares: That it is the Bidder (or by holding the position below indicated is authorized to execute this Bid Form on behalf of the Bidder); that said Bidder submits this Bid; that said Bidder has not, nor have any of its agents, officers, representatives or employees, been guilty of collusion with any officer or representative of Webcor/Obayashi Joint Venture or the TJPA, or with any other party or parties in the submission of this Bid; nor has said Bidder received any preferential treatment by any officer or employee of Webcor/Obayashi Joint Venture or the TJPA in the making or submitting of this Bid. The undersigned declares under penalty of perjury that all representations made on this Bid Form are true and correct.

	Executed on 20		
Telephone Number	Name of Firm or Corporation		
	Bidder or Authorized Representative		
	Position in Firm or Corporation		
S.F. Business Tax Registration	Address of Firm or Corporation Zip Code		
Certificate Number	Contractor's California License No.:		
	License Expiration Date:		

BOND OR CHECK REQUIRED: There is herewith attached, as required by law, bid security in accordance with Project Bidding Manual.

NONDISCRIMINATION IN CONTRACTS AND SMALL BUSINESS ENTERPRISE PROGRAM: Provisions of chapter 12B (including its implementing Rules and Regulations) of the San Francisco Administrative Code, and the TJPA Small Business Enterprise Program are incorporated herein and by reference made a part of the Bid Sections as though fully set forth. The Bidder and all lower-tier subcontractors and suppliers shall comply with these provisions and shall submit all required sections in a timely manner.

SCHEDULE OF BID PRICES TG12.1 – Civil/Sitework at Grade/Ground Level Landscaping

The undersigned, having examined all referenced documents and the Drawings, understanding the terms and conditions of the Contract Documents and the local conditions affecting the performance and costs of the Work, and having fully inspected the Site in all its particulars, hereby proposes and agrees to fully perform the Work as indicated on the Drawings and in accordance with the requirements of the Contract Documents within the time stated therein, and for the following price(s):

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No.	Item Description	Unit of Measure	Bid Price
Grou	nd Level		
1	Civil/Sitework at Grade/Ground Level Landscaping (except line items 2-8)	LS	
2	First, Fremont, and Beale Street Overcrossing comeback work including demolition of temporary asphalt, fine grading, permanent asphalt, and striping	LS	
3	Vehicular paving (including fill materials over protection slab)	LS	
4	Pedestrian paving (including geofill materials over protection slab)	LS	
5	Excavation, cutting & removal of CDSM (including backfill & compaction)	LS	
6	Demolition and Removal of Temporary Bridges – First, Fremont, and Beale Streets	LS	
7	3% value of base <u>Traffic Lights & Controls</u> cost for Coordination of Traffic and Controller per TJPA for future PG&E	LS	
8	Demolition and reconstruction of Beale Street - Adjustments for drainage and alignment to Mission Street	LS	
	TOTAL BASE BID PRICE (Sum of Items 1+2+3+4+5+6+7+8)		
9	Additive Specification Alternate No. 36	LS	
10	Deductive Alternate – Replace alternating color bands with single color for sidewalks at Ground level (see Scoping Drawing L1-2332 for details)	LS	
11	Additive Alternate – City standard "lamp black" Concrete for Bus Plaza Pavement (see Scoping Drawing C1-6006 for details)	LS	
	PERFORMANCE AND PAYMENT BOND RATE (This is for informational purposes only)	I	%

No.	Item Description	Unit of Measure	Bid Price
POTENTIAL PAYMENT AND PERFORMANCE BOND COST (Total Base Bid Price x Bond Rate,			\$
	this is for informational purposes only)		

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Bidder shall furnish a price for all Bid items, including all alternates, set forth in the Schedule of Bid Prices. Failure to furnish a price for all items set forth in the Schedule of Bid Prices shall render the Bid non-responsive and will be cause for its rejection. If an item is left blank, the price shall be assumed to be zero (\$0.00).

In case of discrepancy between the sum of Bid item amounts and the Total Base Bid Price, the sum of said amounts shall prevail. In case of discrepancy between words and figures, the words shall prevail.

Accepted VE Proposals, if any, shall be deducted from the Total Base Bid Price to determine the Bidder's Total Bid Price.

Alternates may be additive or deductive. Bidder must bid and provide a price for all Alternates specified.

Alternates shall cover all costs of alternate Work only as indicated on the Bid Documents and shall not include any Work under any base bid items. Alternate prices shall include markups for overhead and profit. The Bidder shall be responsible for indicating by using plus (+) or minus (-) signs whether alternate amounts are intended to be added to or subtracted from the Total Bid Price.

Webcor/Obayashi Joint Venture will make the actual addition of alternates to or subtraction of alternates from the Total Bid Price. In case an additive alternate amount does not include a plus or minus sign, the amount will be presumed to be additive (+) to the Total Bid Price. In case a deductive alternate amount does not include a plus or minus sign, the amount will be presumed to be deductive (-) from the Total Bid Price.

The total of all Bid items included in the Total Base Bid Price, and accepted Value Engineering ("VE") Proposals, will be considered in determining the Bidder's Total Bid Price.

The Contract, if awarded, will be awarded to the responsible Bidder who submits the lowest responsive Total Bid Price, in accordance with the methodology described above.

Webcor/Obayashi Joint Venture and the TJPA reserve the right to add to or deduct any of the alternates specified in the Schedule of Bid Prices from the Contract Award after the lowest responsible Bidder has been determined. If any alternates are added or deducted after the Contract award, the added or deducted alternate shall be incorporated into the Contract by Change Order at the bid price listed in the Schedule of Bid Prices. Bidder agrees to hold the bid price for all alternates listed above for 90 days following the TJPA's Board approval of the Contract award.

Bidder acknowledges and agrees that this Bid, if not withdrawn prior to the scheduled time for receipt of Bids, shall not be withdrawn for a period of 90 days thereafter.

Total Bid Price: \$	
In Written Words:	
Bid submitted by:	
Name of Firm, Corporation, Partnership or Joint Venture	e (seal)
Names of All Partners, if Partnership	State of Incorporation, if Corporation
Signature of Bidder or Authorized Representative	Date of Bid
Name and Title of Authorized Representative	

Note: If Bidder is a corporation, set forth the legal name of the corporation together with the signature of the officer or officers authorized to sign contracts on behalf of the corporation. If Bidder is a partnership, set forth the name of the firm together with the signature of the partner or partners authorized to sign contracts on behalf of the partnership. A corporate authority document which indicates individual is authorized to execute bid documents on behalf of the Firm, Corporation, Partnership or Joint Venture shall be attached.

END OF BID FORM AND SCHEDULE OF BID PRICES

ATTACHMENT 2 LOGISTICS

The following attached drawings present the conceptual logistical as-built plans. Locations and configurations are for reference and subject to change:

SL-001 Site Logistics Plan dated 03/05/2014

SL-002 Site Truck Routing Plan dated 03/22/2012

SL-025 Site Logistics Construction Zones dated 05/28/2014

SL-027 Rooftop Obstructions – For Reference Only dated 12/05/2013

A101 Personnel and Material Hoist Layout – Bracing dated 12/20/2013

A102 Personnel and Material Hoist Layout – Lower Concourse dated 12/20/2013

A103 Personnel and Material Hoist Layout – Ground Level dated 12/20/2013

A104 Personnel and Material Hoist Layout – Second Level dated 12/20/2013

A105 Personnel and Material Hoist Layout – Bus Deck Level dated 12/20/2013

A106 Personnel and Material Hoist Layout – Roof Level dated 12/20/2013

A107 Personnel and Material Hoist #1 Location dated 12/20/2013

A108 Personnel and Material Hoist #2 Location dated 12/20/2013

A109 Personnel and Material Hoist #3 Location dated 12/20/2013

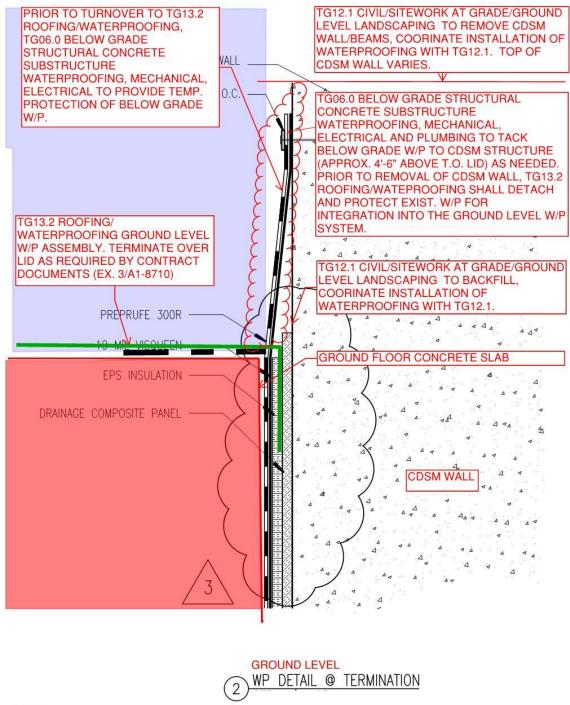
A110 Personnel and Material Hoist #4 Location dated 12/20/2013

X-08 Temporary Platform dated 02/15/2013

END OF LOGISTICS

<u>A...</u>

ATTACHMENT 3 GROUND LEVEL WP DETAIL @ TERMINATION



SK-1 04/02/2015

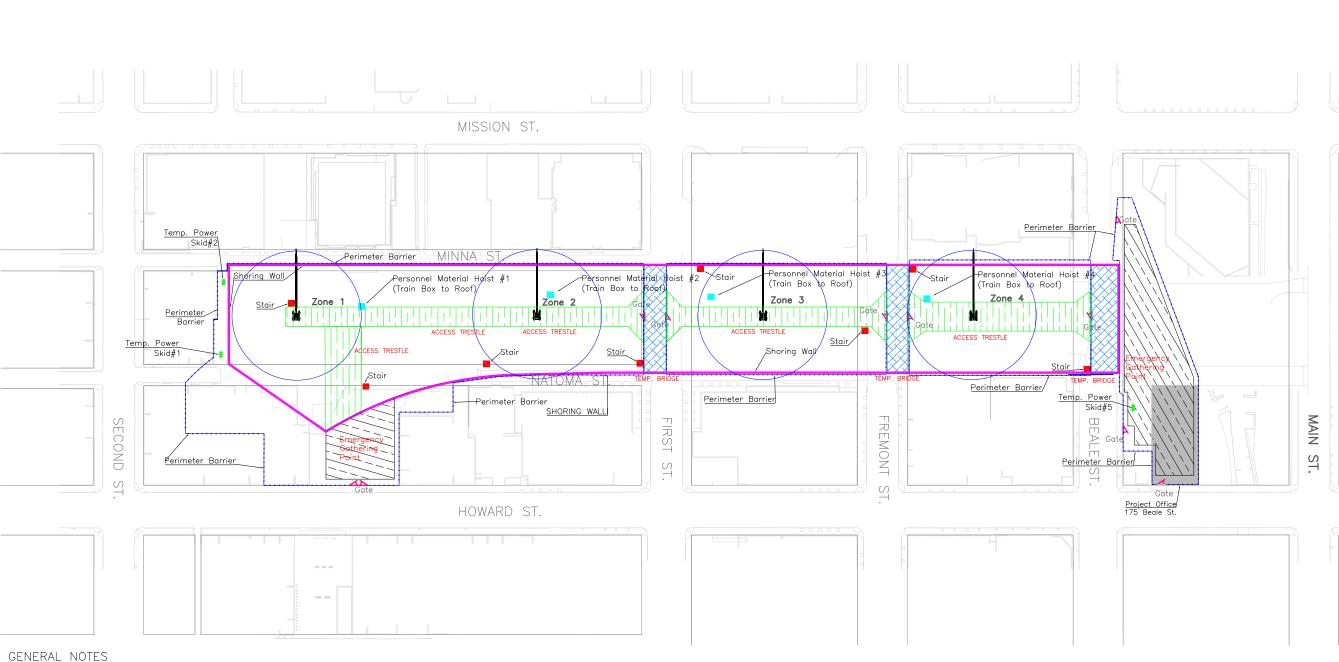
END OF GROUND LEVEL WP DETAIL @ TERMINATION

<u>...A</u>

ISSUANCE LOG

REV No.	ISSUE	DATE
0	Issued For Bid TG12.1	2015-03-24
A	Addendum #1	2015-05-06

END OF EXHIBIT A



- 1. No jobsite parking available.
- 2. No loading or unloading of materials on city streets at any time. Violators will be cited and fined.
- 3. All deliveries must be coordinated with Webcor/Obayashi.
- 4. Storage of materials in Staging Areas must be coordinated with Webcor/Obayashi.
- 5. All visitors must check in at the Webcor/Obayashi project office.
- 6. Perimeter barrier location is for reference only. Each trade subcontractor shall identify the required perimeter barrier locations in the contract documents.

- 7. Location, size, and width of access trestles and temporary bridges to be designed per the requirements in the construction documents. Actual Locations are subject to change.
- 8. Personnel Material Hoists and stair locations are diagrammatic in nature and do not depict placement of hoists and stairs. Location to be coordinated with and approved by Webcor/Obayashi.
- 9. For staging areas, locations, and availability, see the latest issued revision of spec 01 14 19 — Restriction of Use to Site Areas. Usage of these areas will be at the discretion and assigned by Webcor/Obayashi. Refer to Contract Documents.

10. Location and configuration of gates are for reference only. For location and design refer to contract documents.



NOT FOR CONSTRUCTION

IMPORTANT NOTE:

1751 HARBOR BAY PARKWAY

SUITE 200 ALAMEDA, CA 94502 Phone: (510) 748-1900 Fax: (510) 748-7829

175 BEALE ST SAN FRANCISCO, CA 94105 415-978-5700 510-748-7830

CENTER

SAN FRANCISCO,

TRANSBAY TRANSIT Revision Block Description D Updated Man & Material Hoists
D Updated for TG03 BSE
Addendum 03.
E Updated for TG4.3/TG04.4 RUP
F Updated for TG03 BSE
Addendum 05.

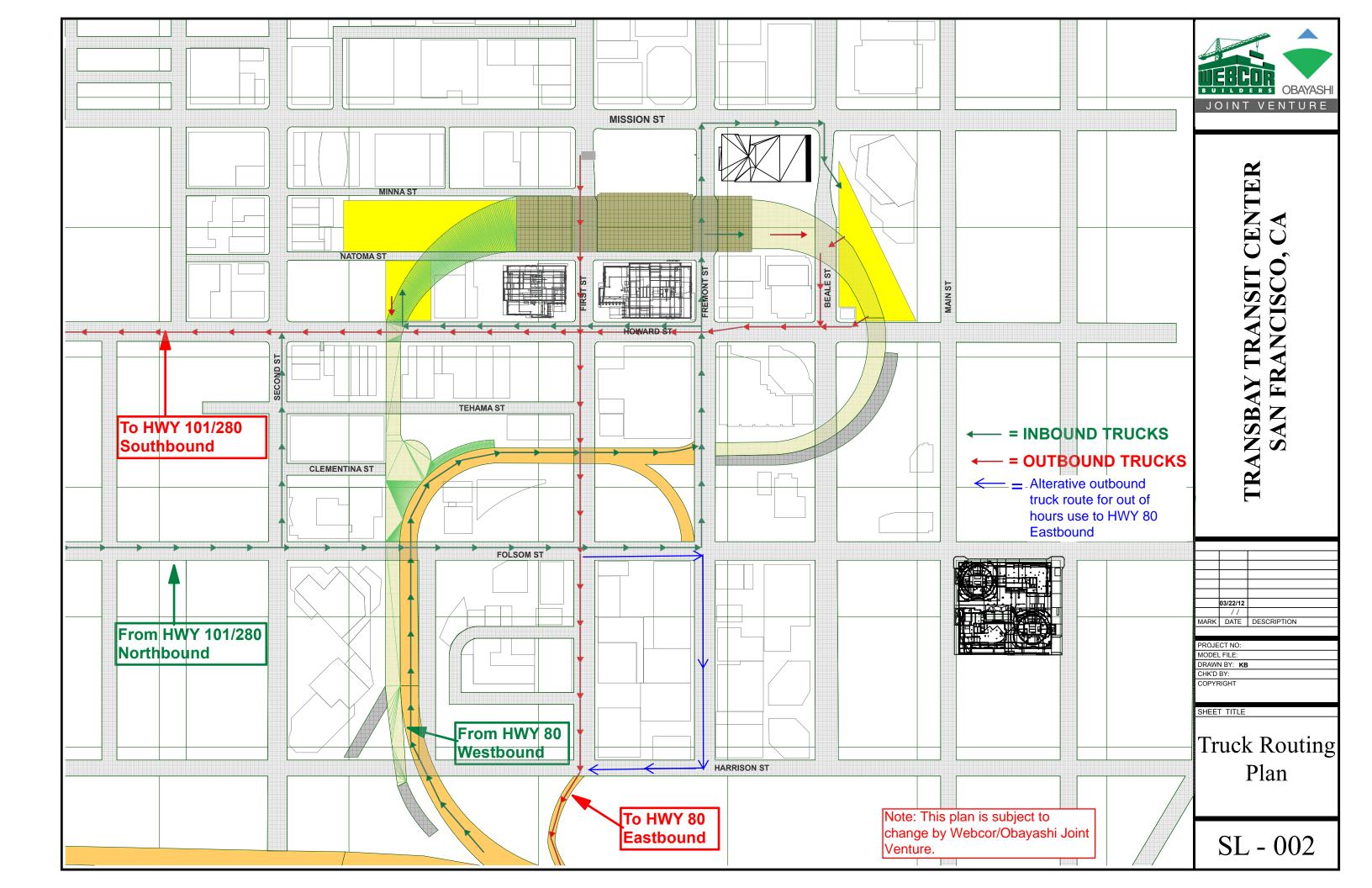
G Updated for TG06.1 & TG06.2 H Updated for TG06 Below Grade IFB 05-10-12
Updated for TG06 Below Grade 05-30-40 Addendum 01 Updated for TG06 Below Grade Addendum 02 Updated for TG05.8 Addendum #5 03-05 Drawn By RC Date 10-20-10 Checked By MP Date 10-20-10

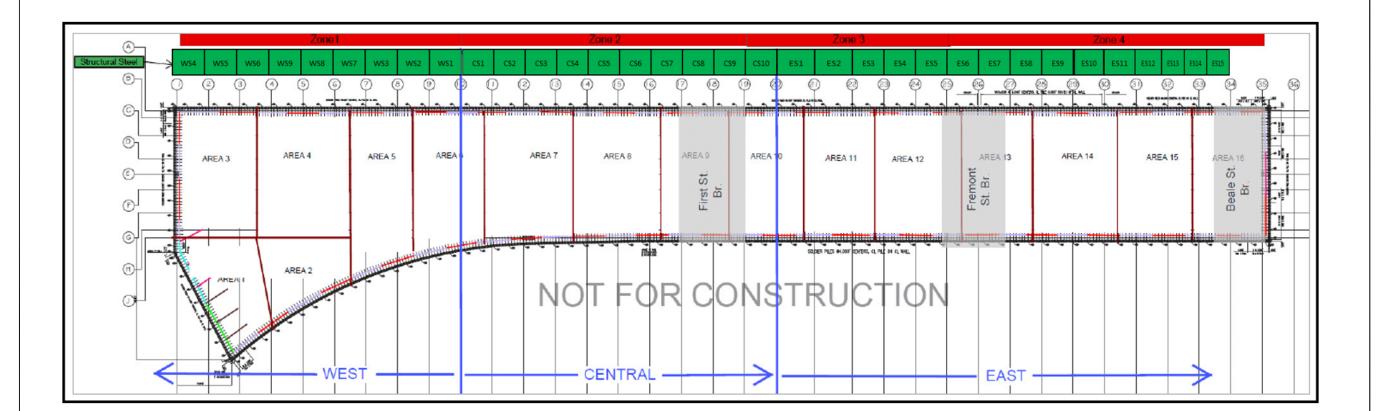
Job No.: 30100

Site Logistics

SCALE: N/A

SL-001





NOT FOR CONSTRUCTION

IMPORTANT NOTE:

THESE DRAWINGS ARE NOT INTENDED TO REPLACE THE DESIGN ARCHITECTURAL AND STRUCTURAL DRAWINGS. ALL DIMENSIONS, LOCATIONS, AND ELEVATIONS SHOWN ON THIS DRAWING ARE TO BE CHECKED ON-SITE AGAINST THE LATEST DESIGN AND DOCUMENTATIONS.

1751 HARBOR BAY PARKWAY

SUITE 200 ALAMEDA, CA 94502 Phone: (510) 748-1900 Fax: (510) 748-7829

FRANSBAY TRANSIT CENTER

SAN FRANCISCO, CA

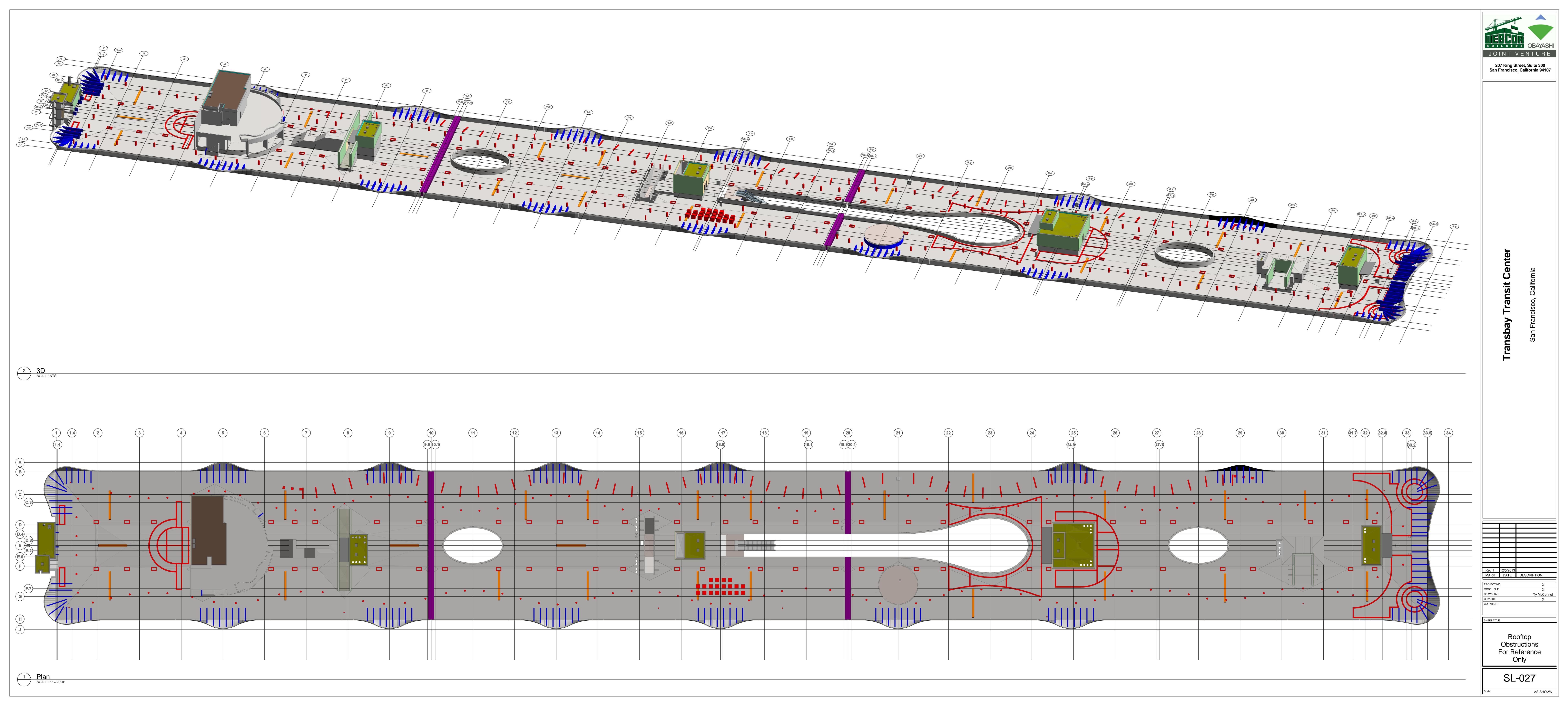
Revision Block						
Rev. No.	Des	cription		Date		
01	Updated for Addendum 0	TG06 Below Grade 2	9	08-22-12		
02	Updated for			10-31-12		
03		TG07.1W, TG07.10 TG07.1E	2	04-05-13		
04	Update			5/28/14		
Drawn By	DH	Date		08-22-12		
Checked By	SR	Date		08-22-12		

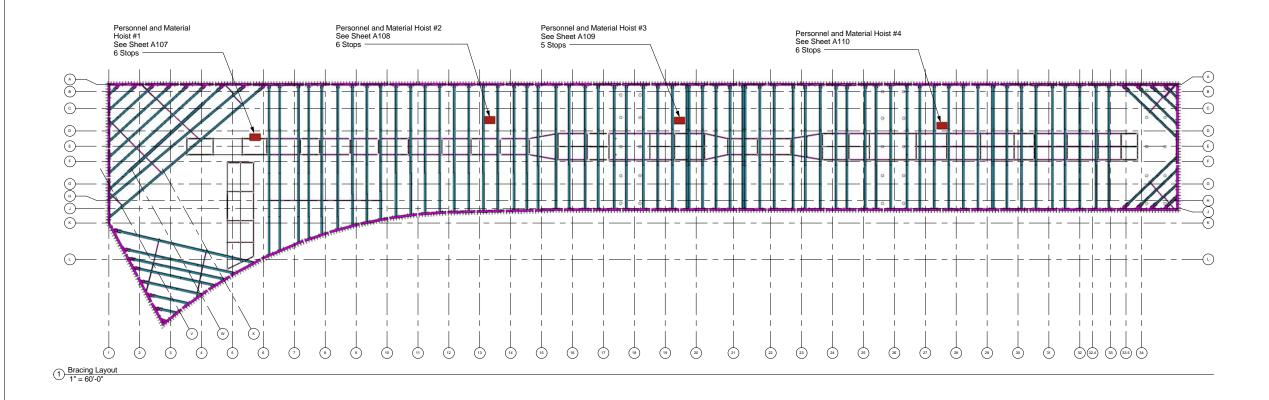
JOD NO.: 301

Construction Zones and Areas

SCALE: I

SL-025







S

San Francisco,

Transbay Transit Center

R1 R2	12/16/2013	
K2	12/20/2013	
	-	
MARK	DATE	DESCRIPTION

PROJECT NO:	X
MODEL FILE:	Х
DRAWN BY:	X
CHK'D BY:	Х
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SHEET TITLE

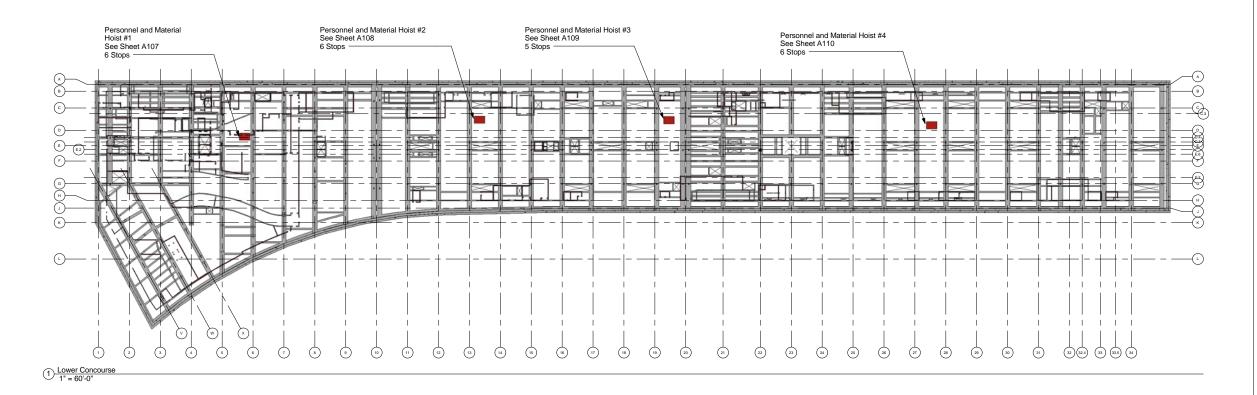
Personnel and Material Hoist Layout - Bracing

A101

AS SHOWN

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.





175 Beale Street San Francisco, CA

S

San Francisco,

Transbay Transit Center

R1 12/16/2013
R2 12/20/2013

MARK DATE DESCRIPTION

 PROJECT NO:
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 MODEL FILE:
 X

 DRAWN BY:
 X

 CHK'D BY:
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SHEET TITLE

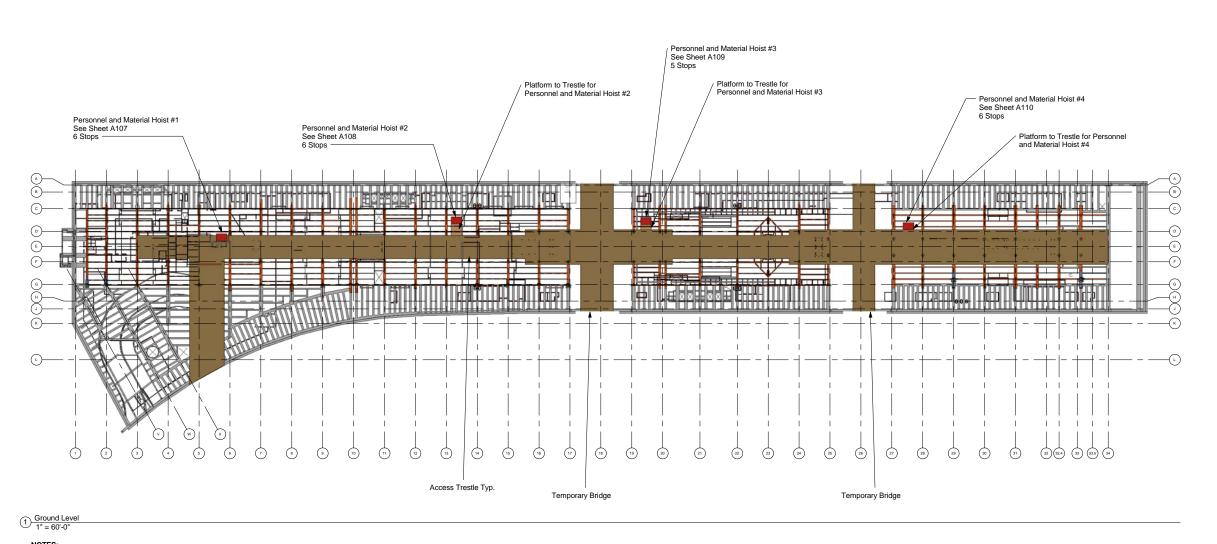
Personnel and Material Hoist Layout - Lower Concourse

A102

AS SHOWN

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.



NOTES:

- 1. Personnel and Material Hoists #2, #3, and #4 platforms to be removed when trestle is removed in surrounding area.
- 2. Personnel and Material Hoist #1 to be installed after trestle and temporary bracing has been removed.

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.

The size, quantity, and position of internal bracing elements is based on the Internal Bracing and Shoring Wall Drawings dated 09/13/2013.



175 Beale Street San Francisco, CA

CA

San Francisco,

Transbay Transit Center

R1 12/16/2013
R2 12/20/2013

MARK DATE DESCRIPTION

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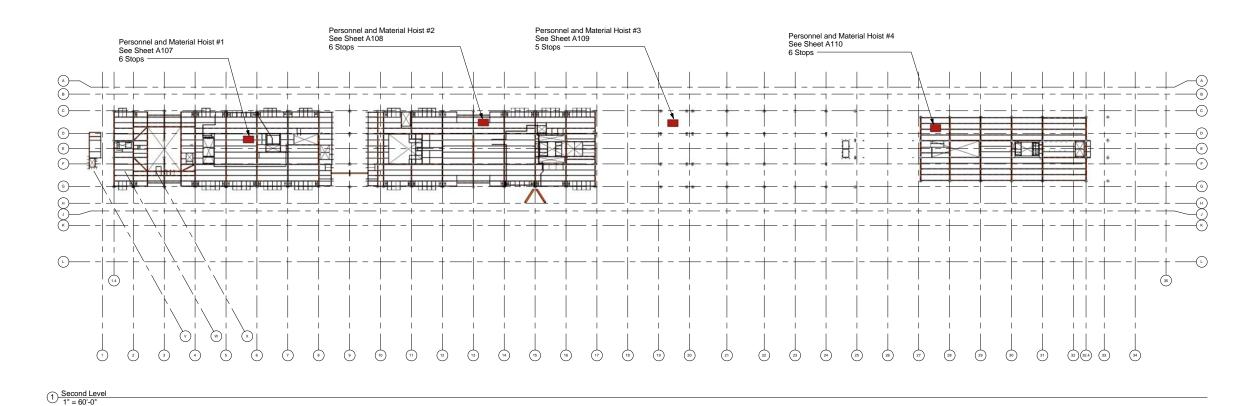
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Personnel and Material Hoist Layout - Ground Level

A103





175 Beale Street San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1 12/16/2013
R2 12/20/2013

MARK DATE DESCRIPTION

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 MODEL FILE:
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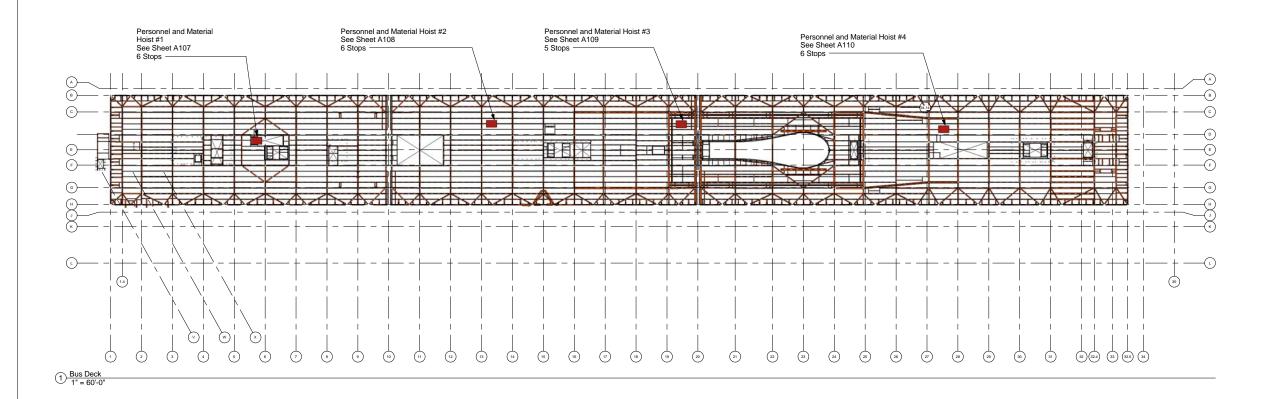
Personnel and Material Hoist Layout - Second Level

A104

AS SHOWN

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.





S

San Francisco,

Transbay Transit Center

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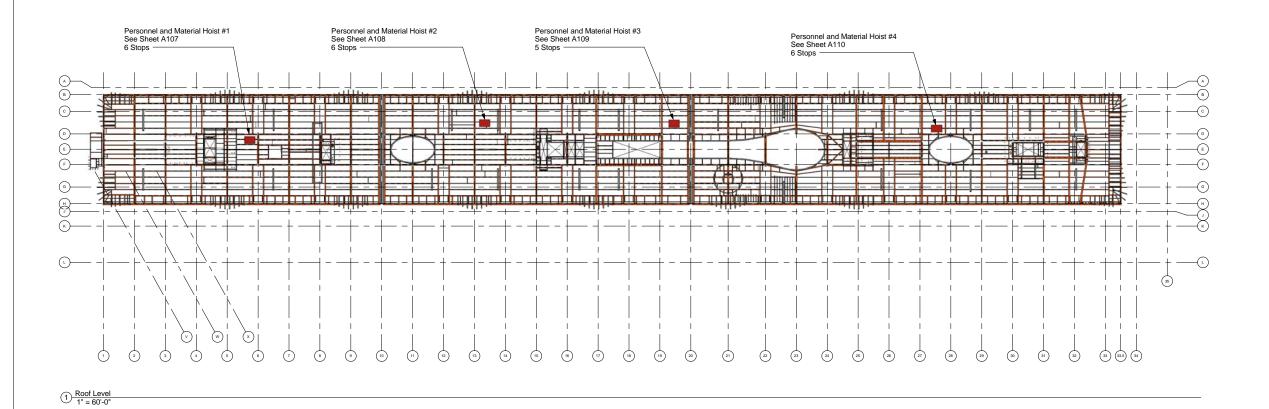
Personnel and Material Hoist Layout - Bus Deck Level

A105

AS SHOWN

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.





Transbay Transit Center

San Francisco, CA

R1 12/16/2013
R2 12/20/2013

MARK DATE DESCRIPTION

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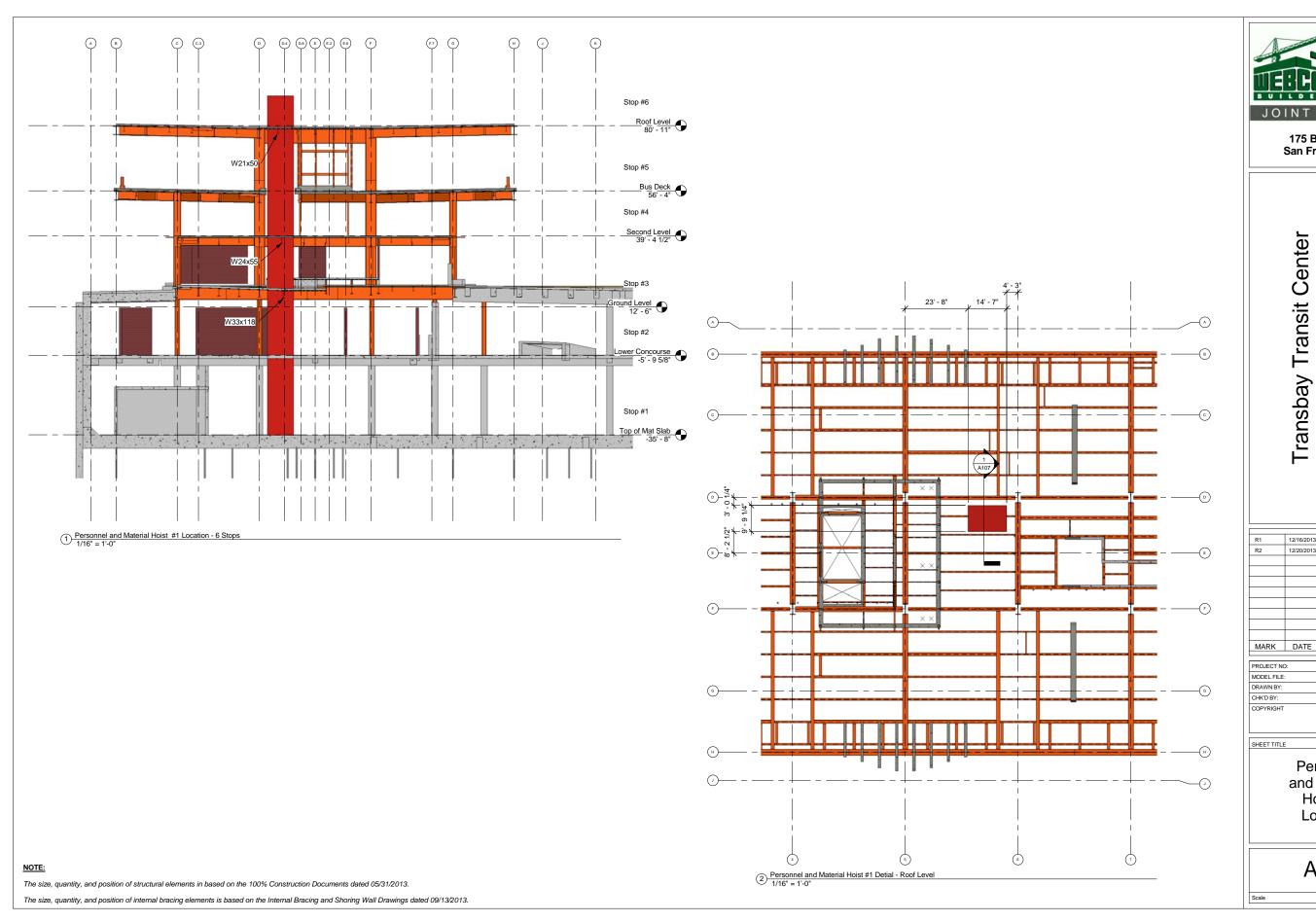
Personnel and Material Hoist Layout - Roof Level

A106

AS SHOWN

NOTE:

The size, quantity, and position of structural elements in based on the 100% Construction Documents dated 05/31/2013.





San Francisco,

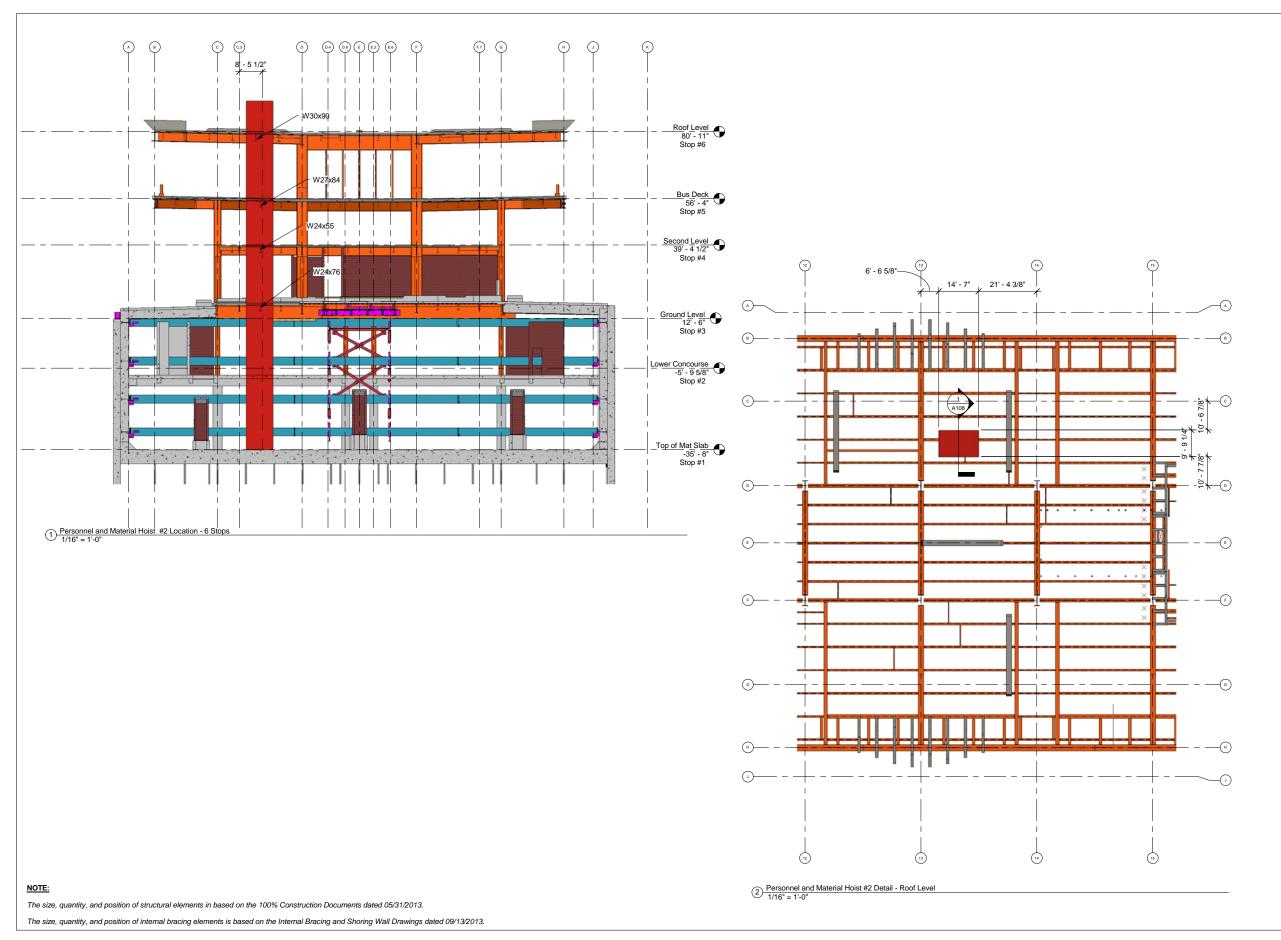
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12/16/2013 MARK DATE DESCRIPTION

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Personnel and Material Hoist #1 Location

A107





Transbay Transit Center

San Francisco, C.

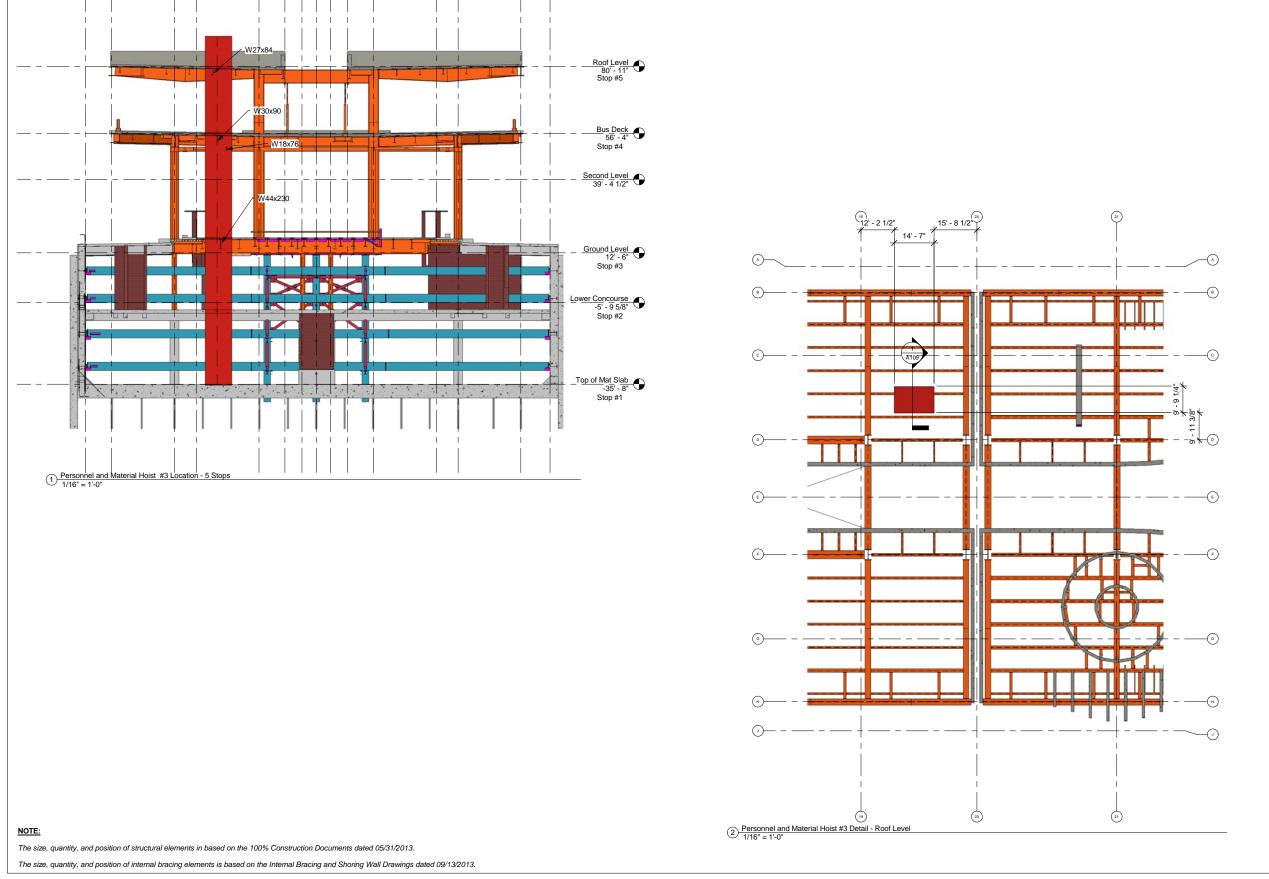
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2	12/20/2013	
MARK	DATE	DESCRIPTION

PROJECT NO:	X
MODEL FILE:	Х
DRAWN BY:	X
CHK'D BY:	Х
COPYRIGHT	

SHEET TITLE

Personnel and Material Hoist #2 Location

A108



(A) (B)

© C3

D D4 D8 E E2 E6 F

(F.7) (G)

Н



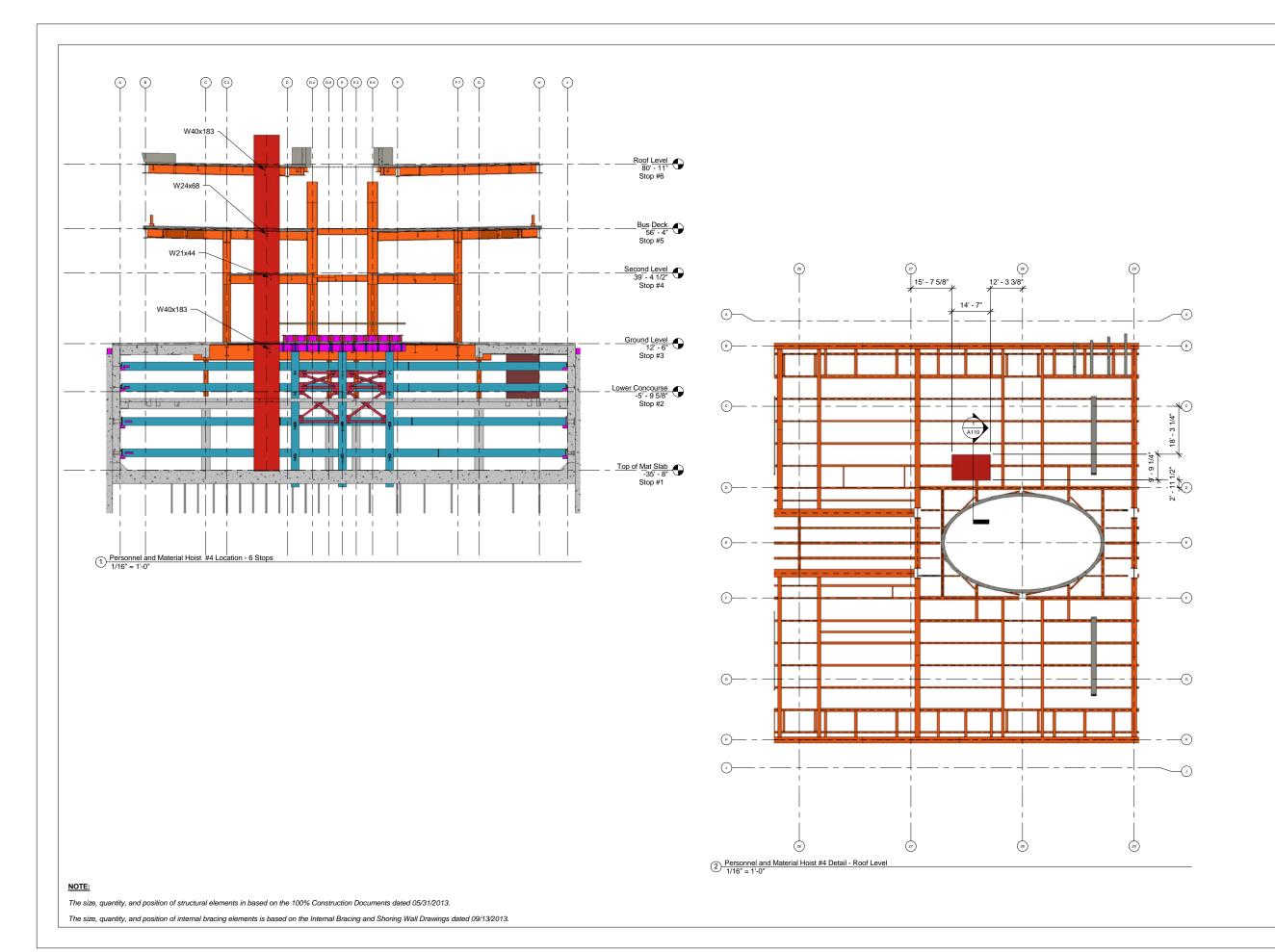
Transbay Transit Center

San Francisco, CA

SHEET TITLE

Personnel and Material Hoist #3 Location

A109





175 Beale Street San Francisco, CA

Transbay Transit Center

San Francisco, CA

R1	12/16/2013	
R2	12/20/2013	
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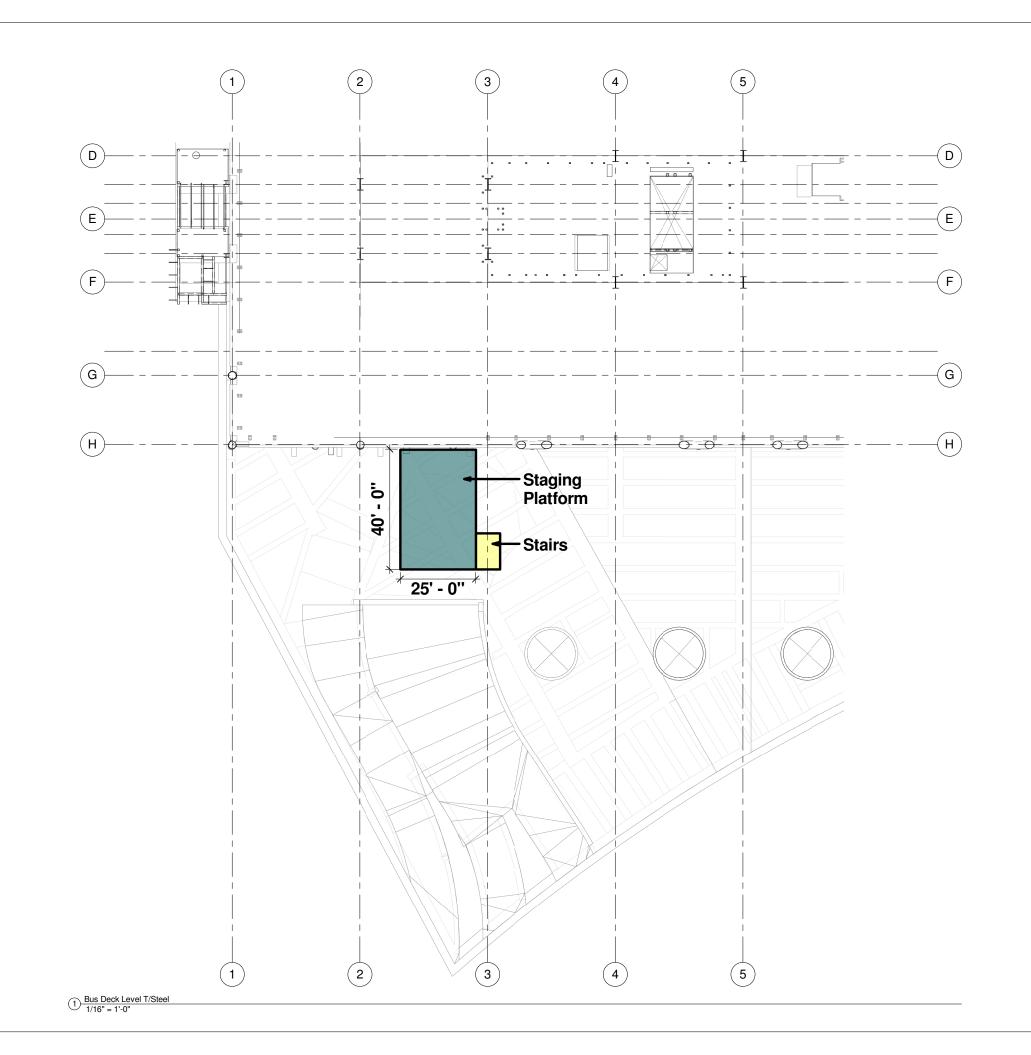
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SHEET TITLE

Personnel and Material Hoist #4 Location

A110





JOINT VENTURE

207 King Street, Suite 300 San Francisco, California 94107

San Francisco, California 02/15/2013

MODEL FILE: DRAWN BY: Matt Zwetzig CHK'D BY: COPYRIGHT

MARK DATE DESCRIPTION

SHEET TITLE

PROJECT NO:

Staging Platform

X-08